



Locust City Council Meeting Agenda Joel Huneycutt Community Room

7:00 PM
May 8, 2025

Mayor Council Members

Mayor Steve Huber
Mayor Pro-Tem Larry Baucom, Mandy
Watson, Roger Hypes, De Dee Nathan,
Mike Haigler, Barry Sims, and Rusty Efird

- | | | |
|---------------------|---|---------------|
| Call to Order: | 1. Call to Order | Mayor Huber |
| | 2. Presentation of Colors, Prayer | Mayor Huber |
| | 3. Adopt Agenda | |
| | 4. Minutes - adopt April 10, 2025 minutes | Amy Furr |
| | • April 10, 2025 | |
| Reports: | 5. Financial Reports | |
| | • Financial Summary - April 2025. | |
| | • FY 2025-2026 Budget Introduction | |
| | • Schedule Public Hearing: FY 2025-2026 Budget Adoption | |
| | 6. Mayor's Report | Mayor Huber |
| | • GFOA - Certificate of Excellence in Financial Reporting | |
| Department Reports: | 7. Manager's Report | Cesar Correa |
| | • Resolution Opposing NC House Bill 765 and Senate Bill 688 | |
| | • Property Surplus | |
| | • Purchase Orders | |
| | 8. Administration/HR | De Dee Nathan |
| | 9. Parks | Mandy Watson |
| | 10. Facilities | Barry Sims |
| | 11. Public Works | Larry Baucom |
| | • Wastewater Flow Report - April 2025. | |
| | 12. ABC, Economic Development & Small Business Support | Rusty Efird |
| | 13. Public Safety | Roger Hypes |
| | • Monthly Report - April 2025. | |
| | 14. Planning & Zoning | Mike Haigler |

- Monthly Report - April 2025
- Conditional Rezoning: Caliber Corner
- Conditional Rezoning: Cook Out
- Land Use Plan Update - Map Update

15. Public Comment Period:

16. Board Closing Comments

17. Adjourn

Next Scheduled Council Meeting - June 12, 2025



Locust City Council

Meeting Minutes

Joel Huneycutt Community Room

7:00 PM

April 10, 2025

Mayor
Council Members

Mayor Steve Huber
Mayor Pro-Tem Larry Baucom, Mandy
Watson, Roger Hypes, De Dee Nathan, Mike
Haigler, Barry Sims, and Rusty Efird

1. Call to Order

Mayor Huber called the meeting to order at 7:00pm

2. Presentation of Colors, Prayer

Mayor Huber and Citizen Levi Farmer led in the Pledge of Allegiance and Council Member Rusty Efird gave the invocation.

M/S/A Council Members Larry Baucom and De-Dee Nathan (6-0)
Motion to excuse Council Member Mandy Watson

3. Adopt Agenda

M/S/A Council Members Larry Baucom and Rusty Efird (6-0)
Motion to adopt the agenda as presented

4. Minutes - adopt March 13th and 15th, 2025

M/S/A Council Members Larry Baucom and Barry Sims (6-0)
Motion to approve the March 13, 2025 and March 15, 2025 Budget Workshop minutes

March 13, 2025

March 15, 2025 Budget Workshop

5. Financial Reports

City Manager Cesar Correa reviewed that General Fund revenues exceed expenditures by \$1,812,794.60 and that Wastewater revenues exceed expenditures by \$3,128,792.23. He also noted that revaluation notices have been delivered. We have not had a lot of inquiries. Once we receive base estimates from Clinton Swaringen later this month, we will be able to present a more accurate number for tax revenue neutral. In the meantime, feel free to direct folks to my attention if they have any questions.

Financial Summary - March 2025

6. Mayor's Report

We had a very productive budget workshop last month. Exciting things are happening in Locust and Mayor Huber invited all to continue to come back and see what all is going to transpire this next fiscal year. Saturday night is the City's first movie night with a mariachi band. Bring out your families.

7. Manager's Report

City Manager Cesar Correa reviewed purchase orders and thanked staff for all of their hard work. I'd like for you to please mark your calendars for the next Stanly County COG meeting. It will take place in Locust on May 20th we will be hosting the meeting at Brentwood Farms. The meeting begins at 6:30pm followed by a short program where Stanly County will provide an update on the opioid settlement funds. I wanted to let you know that P&Z Director Scott Efird and I continue to work with our consultants. We will have a booth at the upcoming April 12th Movie Night in Locust to collect feedback from the public. Cabarrus County Commissioners received a recommendation to amend their fee schedule for the upcoming fiscal year for services related to the Fire Marshal's office. The recommendation includes charging the towns of Midland, Mount Pleasant and City of Locust. I am waiting to confirm the intended charge for Locust. Both Midland and Mount Pleasant have expressed opposition to this charge. City Manager Cesar Correa is asking for a consensus from Council to express opposition to the Cabarrus County Commissioners.

This is an update on our discussion from the budget retreat regarding sewer expansion projects. Please see attached for a copy of the maps/estimates of each of the projects we've identified for expansion. Here is a brief description/reminder of each:

- **Gravity Outfall Improvement:** This is the 2nd half of a gravity line expansion. All of the flow from the new Creekview station (which now bypasses Meadow Creek Vacuum) comes through here. Originally planned with the North Basin Improvements, we split this up due to the anticipated costs of the project. The engineering estimate is high, but it accounts for the average price of bids based on our project. That price is roughly \$600/linear foot. However, the contractor who performed the project for us got the award with a price of \$300/linear foot. This is our main priority for expansion. Our recommendation is to proceed with engineering design, and depending on cost will determine whether we can complete projects 2 and 3 listed below.
- **Vacuum Expansion on W. Main Street:** This project would extend vacuum sewer on the eastbound side of W. Main Street. The area that would be serviced is roughly from Food Lion to the 3 Queens Cuisine restaurant. This would be the second priority as it would allow for additional commercial expansion along W. Main Street. We considered the possibility of expanding with low pressure, which was cheaper. However, low pressure infrastructure would severely limit the allowable flow to be discharged into this new line. We don't feel confident it could service commercial establishments, only residential or small professional services.

- **Mockingbird Lane Expansion:** If funds allow, we could consider this expansion. It would service the least number of units, assuming that all the parcels identified would connect to sewer.

M/S/A Council Members Michael Haigler and Larry Baucom (6-0)
Motion to move forward with sewer gravity outfall improvement project 1 off of Vella Dr

M/S/A Council Members De-Dee Nathan and Rusty Efird (6-0)
Motion to approve purchase orders

M/S/A Council Members Barry Sims and De-Dee Nathan (6-0)
Motion to instruct City Manager Cesar Correa to send a letter in opposition to Cabarrus County Commissioners for the additional fire marshall fee.

Sewer Service Expansion Projects

Fire Marshal Services - Cabarrus County

Purchase Orders

8. Administration/HR

Council Member De-Dee Nathan has nothing to report at this time

9. Parks

Council Member Mandy Watson was absent so there was nothing to report at this time.

10. Facilities

Council Member Barry Sims stated that the City has advertised for bids for the senior center. We will open bids on May 7th and will look to award the contract during the June meeting. Second floor floors at City Hall were replaced and that was completed this week. City Hall will also be closed on Friday, April 25th to sand, restrain, and seal the hardwood floors downstairs. This will take place over multiple weekends.

11. Public Works

Council Member Larry Baucom reviewed the monthly flow report.

Wastewater Flow Report - March 2025

12. ABC, Economic Development & Small Business Support

Small businesses in Locust are really doing well. Zaxby's and Showmars are open and doing well.

13. Public Safety

Council Member Roger Hypes reviewed the monthly statistics report and the Officers of the month for the month of March were Officer Adam Hartsell and Officer Jerry Wallace.

Monthly Report - March 2025

14. Planning & Zoning

Council Member Michael Haigler reviewed the monthly report. Michael Bunch with Link Architecture-Clt was present to give a presentation on the conditional rezoning request for Caliber Corner in the business park on the corner of Kylie Court. Council was asked to set a public hearing for the May 8th meeting for the conditional rezoning request submitted by Cookout.

Public Hearing for the Conditional Rezoning Request for Caliber Corner opened at 7:50pm: Keith Brack of Brack Electric spoke for the project but also expressed concern about the proposed outside storage area and how high that materials can be stored above the fence line.

Public Hearing closed at 8:00pm

M/S/A Council Members Michael Haigler and Barry Sims (6-0)

Motion to table the conditional rezoning request for Caliber Corner until the next meeting to give the builder the chance to address the concerns raised about the storage height in the storage lot.

M/S/A Council Members Michael Haigler and De-Dee Nathan (6-0)

Motion to schedule public hearing for the conditional rezoning request submitted by Cookout on Thursday, May 8, 2025

Monthly Report - March 2025

Conditional Rezoning - Caliber Corner

Schedule Public Hearing - Conditional Rezoning: Cook Out

15. Public Comment Period:

No one signed up to speak

16. Board Closing Comments

Thank you everyone who came out. Council Member Roger Hypes brought a concern about the speeders and traffic at the entrance to the Meadows. Thank you to the entire police department for all of their work in keeping our city safe. The lot where QT is being built looks great. Thank you to the staff for all they do to keep things moving smoothly at the City.

17. Executive Session

M/S/A Council Members Barry Sims and Larry Baucom (6-0)

Motion to enter into executive session at 8:15pm GS: 143-318.11 (5)

Out of executive session at 8:49pm

M/S/A Council Members Roger Hypes and Barry Sims (6-0)

Motion to award contract for Market St/Post Office Connector Road to S&F Contracting for \$98,750 and engage the 2 parties for the land swap.

18. Adjourn

M/S/A Council Members Barry Sims and Rusty Efird (6-0)
Motion to adjourn at 8:51pm

Amy Furr, City Clerk

Stephen Huber, Mayor



CITY OF LOCUST
FINANCIAL SUMMARY REPORT - APRIL 30, 2025
FISCAL YEAR ENDING 6/30/2025

GENERAL FUND

	ACTUAL FY '23/'24	CURRENT BUDGET	ACTUAL 6/30/2025	Y-T-D % COLLECTED
REVENUES				
PROPERTY TAXES	\$ 2,660,358	\$ 2,200,000	\$ 2,937,501	133.52%
VEHICLE TAXES/DMV VEHICLE FEES	\$ 50,740	\$ -	\$ 13,460	0.00%
FRANCHISE TAXES	\$ 258,134	\$ 230,000	\$ 195,644	85.06%
SALES TAXES	\$ 1,723,637	\$ 1,225,000	\$ 1,226,867	100.15%
CABLE VISION FRANCHISE	\$ 19,434	\$ 21,000	\$ 14,418	68.66%
SOLID WASTE	\$ 301,447	\$ 265,000	\$ 317,685	119.88%
BUSINESS REGISTRATION/PERMITS	\$ 49,605	\$ 10,000	\$ 63,043	630.43%
POWELL FUND	\$ 168,669	\$ 165,500	\$ 192,891	116.55%
ALL OTHER REVENUES	\$ 1,540,788	\$ 648,000	\$ 961,773	148.42%
	\$ 6,772,813	\$ 4,764,500	\$ 5,923,281	124.32%

	ACTUAL FY '23/'24	CURRENT BUDGET	ACTUAL 6/30/2025	Y-T-D % SPENT
EXPENDITURES				
GENERAL ADMINISTRATION GOV'T	\$ 777,672	\$ 808,500	\$ 660,527	81.70%
CENTRAL SERVICES	\$ 119,488	\$ 81,750	\$ 342,485	418.94%
PUBLIC SAFETY	\$ 1,757,271	\$ 1,960,500	\$ 1,540,573	78.58%
PUBLIC WORKS	\$ 606,275	\$ 528,450	\$ 426,512	80.71%
POWELL FUND/STREETS	\$ 172,130	\$ 308,600	\$ 113,271	36.70%
SANITATION	\$ 535,645	\$ 500,000	\$ 492,353	98.47%
PARKS & RECREATION	\$ 1,777,305	\$ 575,700	\$ 724,352	125.82%
CONTRIBUTION TO WASTE WATER FUND	\$ -	\$ -	\$ -	0.00%
CAPITAL PROJECT FUND	\$ -	\$ -	\$ -	0.00%
ECONOMIC DEVELOPMENT	\$ -	\$ 1,000	\$ 2,000	0.00%
TRANSFER TO WASTE WATER	\$ -	\$ -	\$ -	0.00%
DEBT SERVICE	\$ -	\$ -	\$ -	0.00%
GENERAL FUND RESERVE	\$ -	\$ -	\$ -	0.00%

\$ 5,745,787 \$ 4,764,500 \$ 4,302,073 90.29%

Y-T-D FUND BALANCE INCREASE

\$ 1,027,026 \$ - \$ 1,621,209

Sales Tax Revenue Summary

July 2024 \$ 158,712.75 rec'd 9/13/2024
Aug 2024 \$ 145,855.96 rec'd 10/15/2024
Sept 2024 \$ 150,105.96 rec'd 11/15/2024

Oct 2024 \$ 144,707.24 rec'd 12/13/2024
Nov 2024 \$ 148,720.93 rec'd 1/14/2025
Dec 2024 \$ 161,828.29 rec'd 2/18/2025
Jan 2025 \$ 177,745.23 rec'd 3/18/2025
Feb 2025 \$ 139,190.29 rec'd 4/14/2025

ABC Income Summary

July 2024 \$ 25,429.92 incl'd LEO Qtr Dist.
August 2024 \$ 23,390.42 rec'd 9/3/2024
Sept 2024 \$ 23,390.42 rec'd 10/2/2024

Oct 2024 \$ 143,793.33 incl'd LEO Qtr Dist./Final & ABC monthly/final 23-24
Dec 2024 \$ 46,780.84 for Nov & Dec 2024 Dist
Jan 2025 \$ 2,536.25 for LEO Qtr Dist.
Feb 2025 \$ 23,390.42 for Jan 2025
March 2025 \$ 46,780.84 inc'd Feb & March LEO Qtr Dist.
April 2025 \$ 2,536.25

WASTE WATER FUND

	ACTUAL FY '23/'24	CURRENT BUDGET	ACTUAL 6/30/2025	Y-T-D % COLLECTED
REVENUES				
MISC INCOME	\$ 7,649	\$ 1,000	\$ 13,440	1344.00%
INTEREST INCOME	\$ 112,892	\$ 10,000	\$ 16,576	165.76%
NEW DEV SEWER TAP FEES	\$ 12,500	\$ -	\$ -	0.00%
AVAILABILITY FEES	\$ 125,067	\$ 115,000	\$ 98,009	#DIV/0!
USER FEES	\$ 1,675,638	\$ 1,115,000	\$ 1,379,643	123.73%
SYSTEM DEVELOPMENT FEE	\$ 244,050	\$ 225,000	\$ 251,150	85.22%
FUND BALANCE RESERVES	\$ -	\$ -	\$ -	0.00%
WASTEWATER RESERVES	\$ -	\$ -	\$ -	0.00%
OTHER FEE INCOME	\$ 4,803,757	\$ -	\$ 8,206,649	0.00%
	\$ 6,981,553	\$ 1,466,000	\$ 9,965,466	679.77%

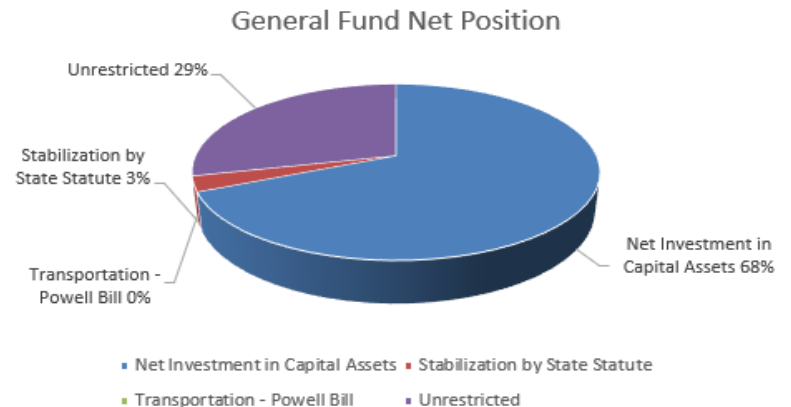
	ACTUAL FY '23/'24	CURRENT BUDGET	ACTUAL 6/30/2025	Y-T-D % SPENT
EXPENDITURES				
ADMINISTRATION	\$ 301,464	\$ 304,100	\$ 253,078	83.22%
WASTE COLLECTION & TREATMENT	\$ 1,017,547	\$ 1,161,900	\$ 1,041,637	89.65%
CAPITAL PROJ - N BASIN PS	\$ 1,009	\$ -	\$ 5,587,869	0.00%
CAPITAL PROJ - MEADOWCREEK PS	\$ -	\$ -	\$ 102,299	#DIV/0!
DEBT SERVICE	\$ -	\$ -	\$ -	0.00%
	\$ 1,320,020	\$ 1,466,000	\$ 6,984,883	476.46%

Y-T-D FUND BALANCE INCREASE

\$ 5,661,533 \$ - \$ 2,980,583 0.00%

GENERAL FUND INVESTMENT POSITION

	6/30/2024
Total Fund Balance	
Net Investment in Capital Assets	12,787,871.00
Stabilization by State Statute	523,450.00
Transportation - Powell Bill	2,332.00
Unrestricted	5,345,011.00
Subtotal	\$ 18,658,664.00





Budget Introduction

Fiscal Year Budget 2025-2026
May 8, 2025



FY 25-26 Budget Overview



\$5,135,500

**General Fund
Budget**



\$1,466,000

**Wastewater
Fund Budget**



\$6,601,500

**Total FY 25-26
Budget**

Budget Highlights

Stanly County Revaluation



Total valuation
increased by
31.68%

User Fees

No increase
To WW fee
schedule



Proposed rates:
\$41.11 for residential
\$85.05 for commercial

Tax-Revenue Neutral

Proposed Tax
Rate of
\$0.29/\$100



Reduction from
\$0.36/\$100

Fund Balance

No Fund
Balance
appropriation

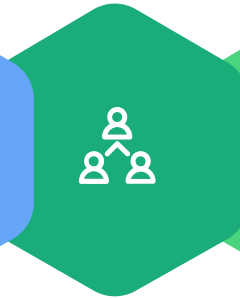


Capital Projects
paid cash. No
new debt issued

FY 25-26 Budget Update

Valuation

Estimates
from Stanly &
Cabarrus
County Tax
Offices



Expenditures

Where is the
money going?

Revenues

Updates on
revenue forecast

Capital Projects

Review of
capital
projects

Assessed Valuation Update



Stanly County

Tax Office estimate
\$940,000,000

*Revaluation Figures:



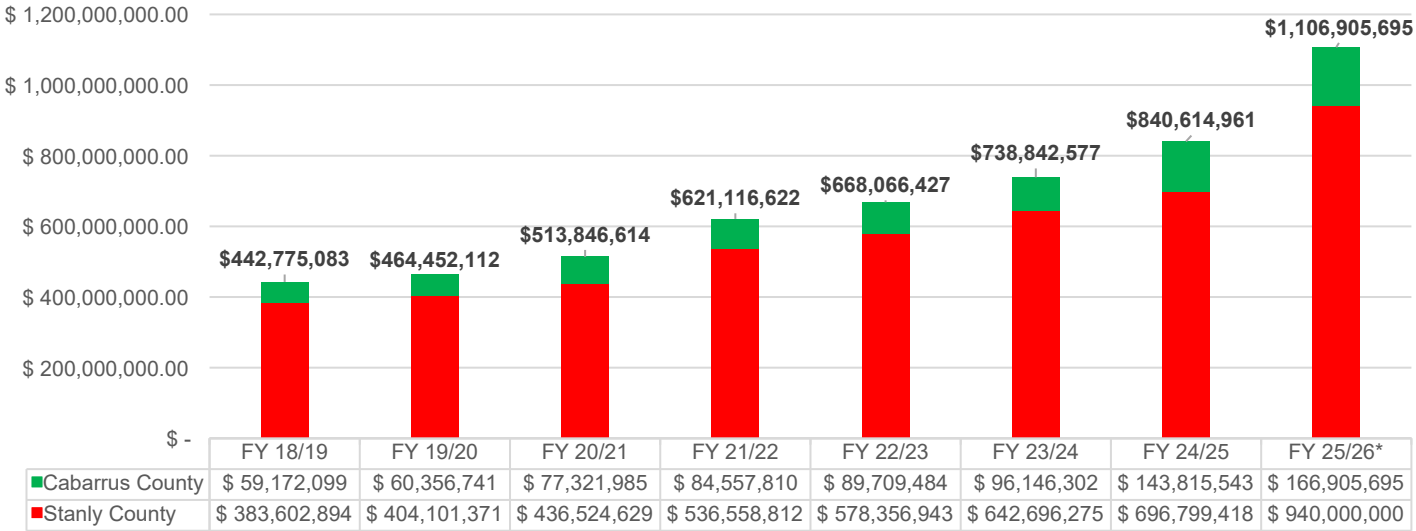
Cabarrus County

Tax Office estimate
\$166,905,695



Total Valuation

Estimate total valuation
\$1,106,905,695



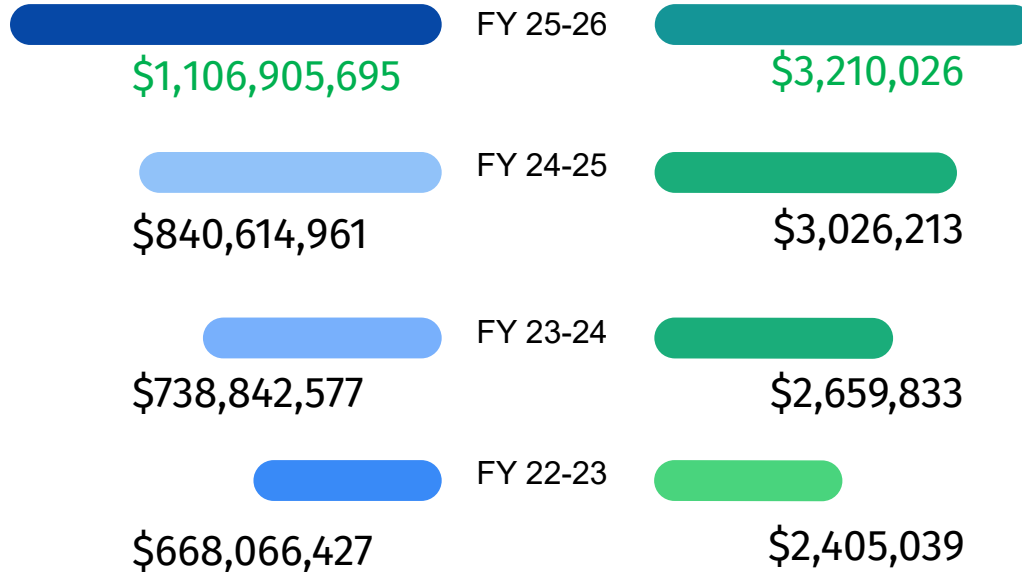
Valuation Impact on Tax Levy

\$0.29/\$100 \$0.01 = \$110,690

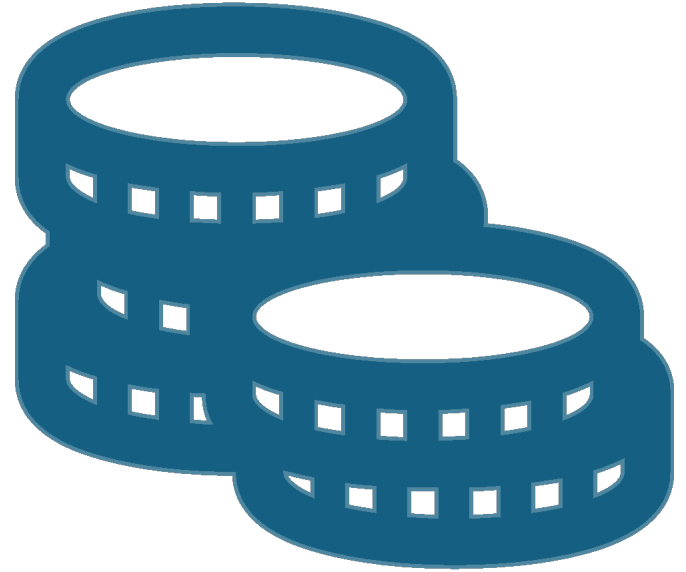


Valuation

Tax Levy



2025 Stanly County Revaluation

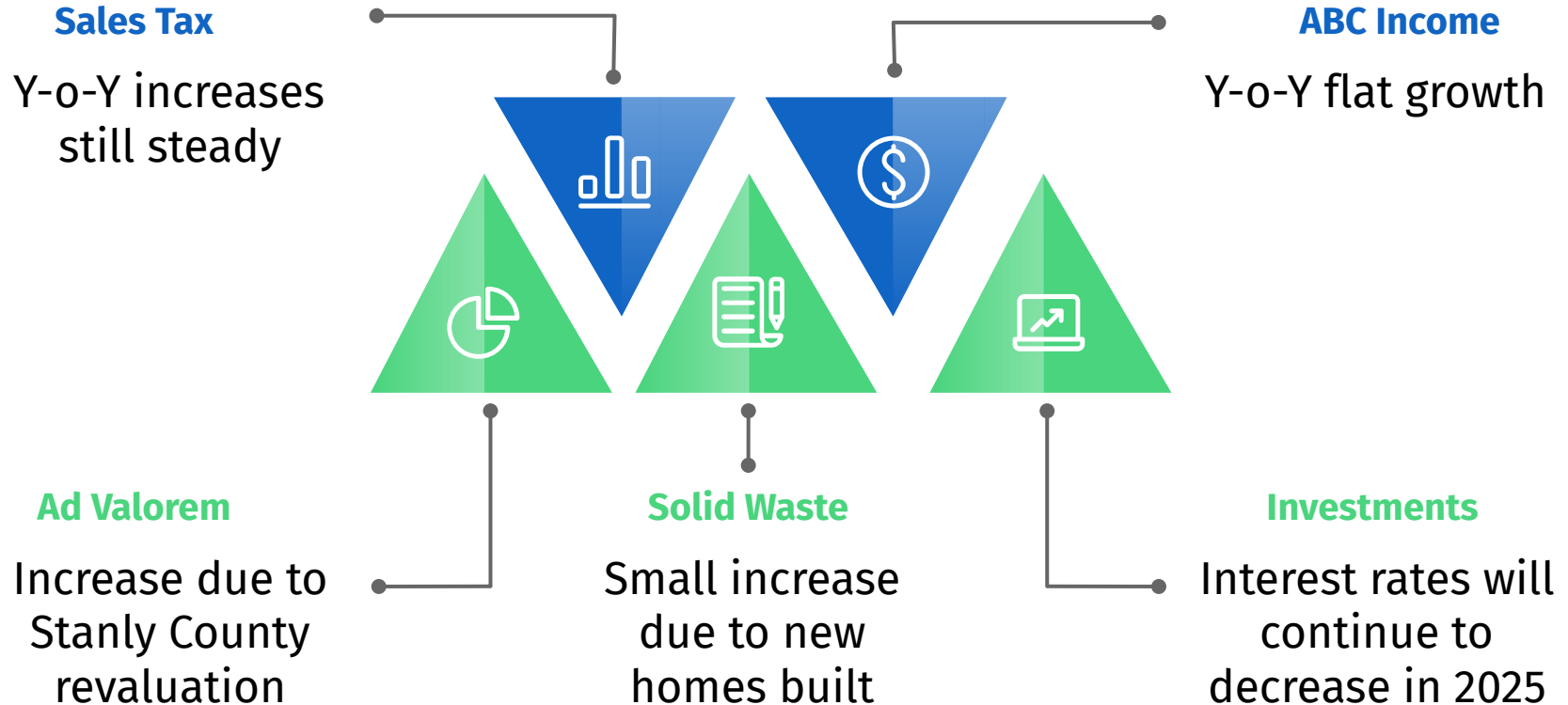


Revenue-Neutral Tax Rate

RNTR is the tax rate that would produce the same amount of tax revenue from the new revaluation-year tax base as was produced this year from the current tax rate and tax base.

1. Determine Tax Levy for current year = **\$3,026,213**
 - Assessed valuation, divided by 100, and multiplied by current tax rate
 - $(840,614,963 / 100) \times 0.36$
2. Determine a Tax Rate that would produce revenues equal to those produced for current fiscal year = **\$0.2734**
 - Current tax levy, divided by new valuation, and multiplied by 100
 - $(\$3,026,213 / \$1,106,905,695) \times 100$
3. Calculate Growth Rate Average Since Last Revaluation = **8.86%**
 - 2022 = 9.36%
 - 2023 = 7.56%
 - 2024* = 10.59% *(only reflects Stanly County since Cabarrus County had revaluation)
4. Adjust New Tax Rate by Average Growth Rate = **\$0.2976**
 - 0.2734×1.0886

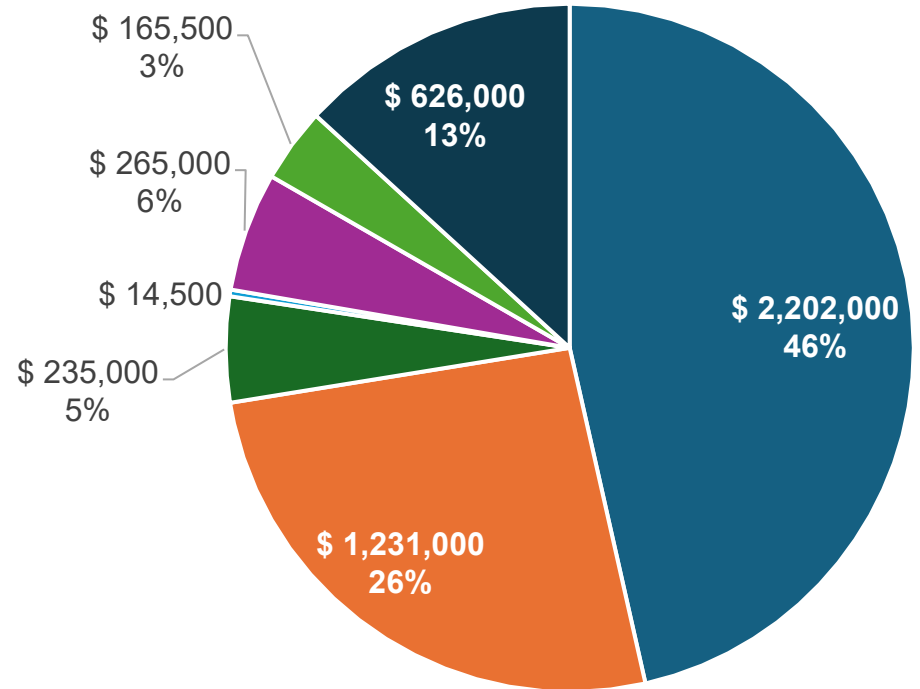
Revenues Update



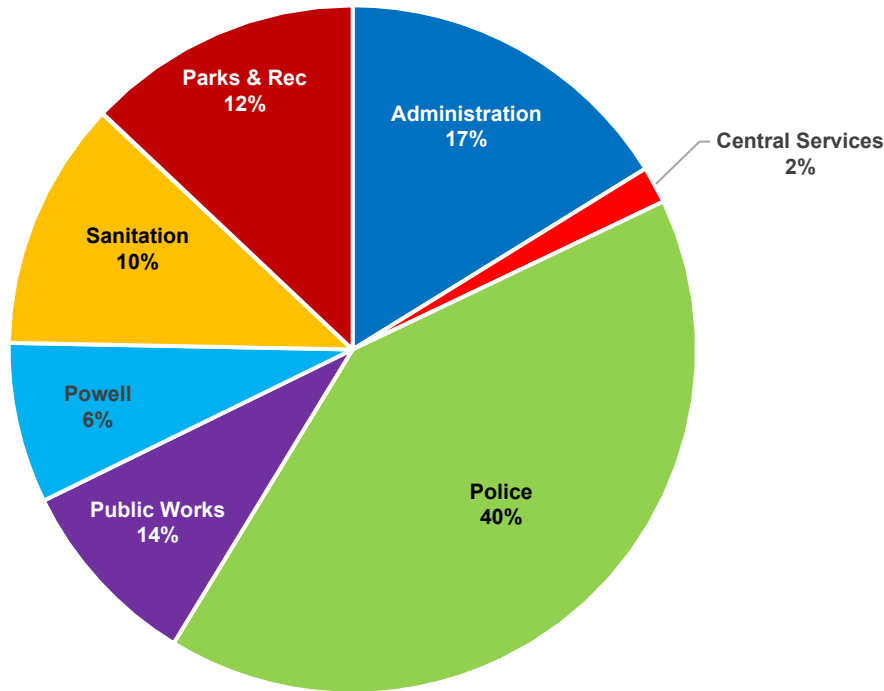
General Fund Revenues

**FY 2025-2026 General Fund
Projected Revenues**

Ad Valorem	\$ 2,402,000	47%
Other Tax & License	\$ 1,331,000	26%
Intergovernmental Revenue	\$ 240,000	5%
Beer & Wine Tax	\$ 15,000	>1%
Solid Waste	\$ 265,000	5%
Powell (Transportation)	\$ 190,500	4%
Misc. Revenue	\$ 626,000	13%
TOTAL REVENUES:	\$ 5,135,500	100%



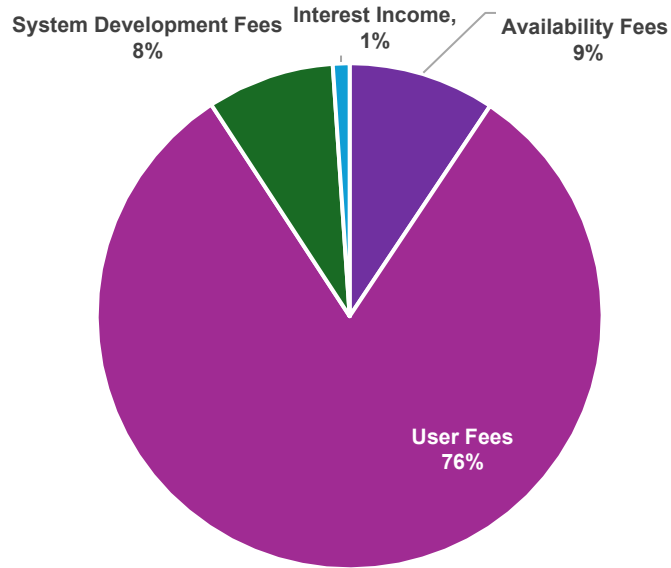
General Fund Expenditures



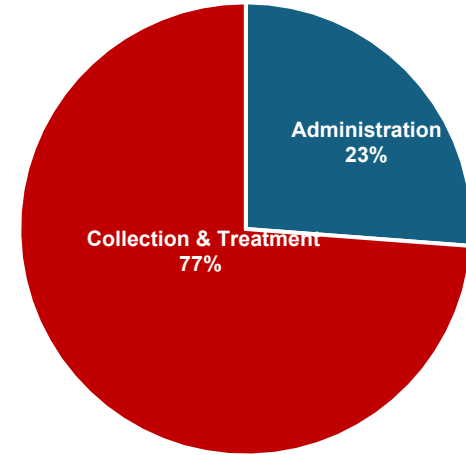
**FY 2025-2026 General Fund
Expense Allocation**

Administration	\$869,000	17%
Central Services	\$87,500	2%
Police Department	\$2,040,000	40%
Public Works	\$720,000	14%
Powell (Transportation)	\$297,200	6%
Sanitation	\$500,000	10%
Economic Development	\$1,000	>1%
Parks & Rec	\$620,800	12%
TOTAL EXPENDITURES	\$5,135,500	100%

Wastewater Fund



Misc. Income	>1%	\$	1,000
Interest Income	1%	\$	10,000
Availability Fees	8%	\$	115,000
User Fees	76%	\$	1,115,000
System Development Fees	15%	\$	225,000
TOTAL REVENUES	100%	\$	1,466,000



Administration	23%	\$	331,100
Collection & Treatment	77%	\$	1,134,900
TOTAL EXPENDITURES	100%	\$	1,466,000

Capital Projects Update

LPD Fleet

Purchase of patrol vehicles

LPD Equipment

Dash and body cameras

Wastewater

Sewer expansion project

DPW

Purchase of equipment and vehicle

City Beautification

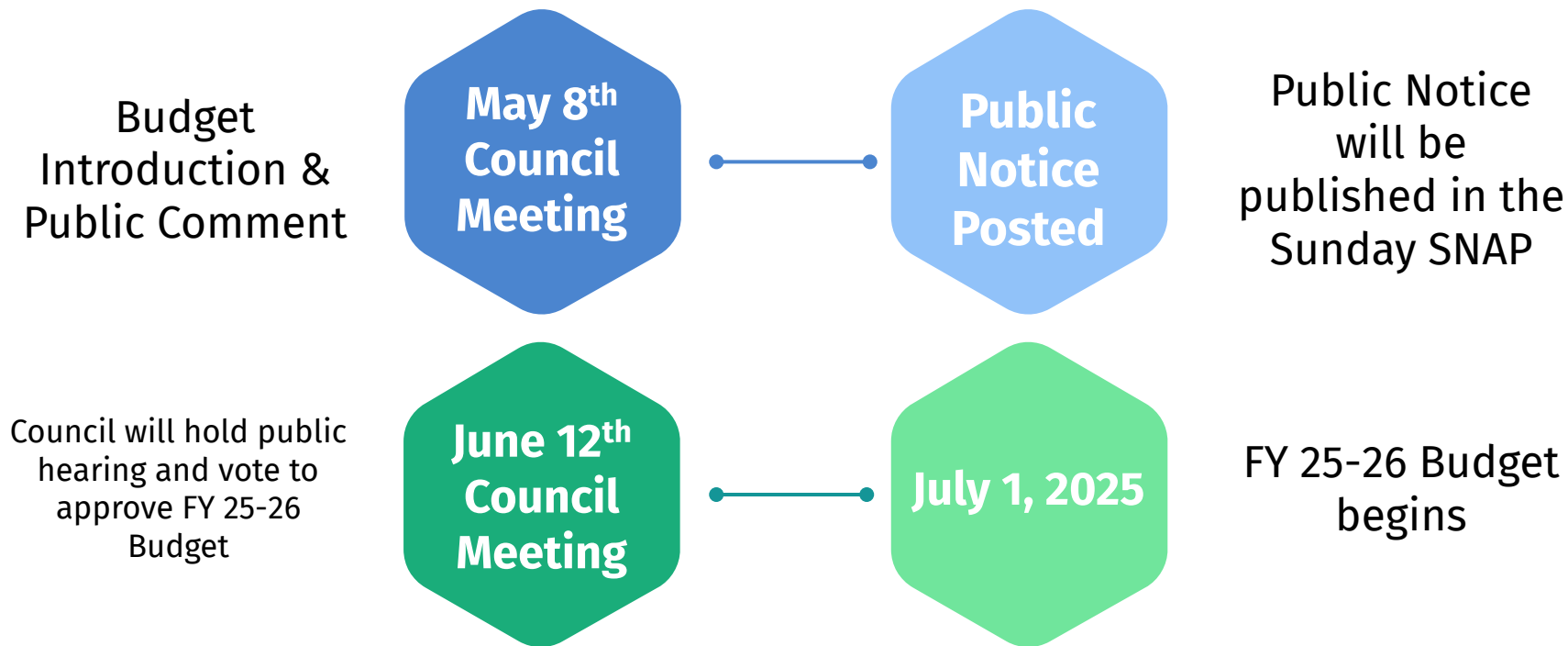
Christmas decorations
Phase 3

Powell (Transportation)

Purchase of new mowing equipment



Next Steps



Questions?



Government Finance Officers Association

**Certificate of
Achievement
for Excellence
in Financial
Reporting**

Presented to

**City of Locust
North Carolina**

For its Annual Comprehensive
Financial Report
For the Fiscal Year Ended

June 30, 2024

Christopher P. Morill

Executive Director/CEO



City of Locust

Post Office Box 190
Locust, North Carolina 28097-0190
(704) 888-5260

RESOLUTION OPPOSING NORTH CAROLINA HOUSE BILL 765

WHEREAS, North Carolina House Bill 765, entitled Local Gov. Development Regulations Omnibus, was recently introduced in the North Carolina General Assembly; and

WHEREAS, NC House Bill 765 would significantly limit the ability of local governments across the state to make decisions regarding local land-use planning and zoning; and

WHEREAS, the bill undermines the authority entrusted to elected municipal officials by their communities; and

WHEREAS, the bill represents a harmful reworking of local planning and zoning powers, including provisions that eliminate local standards entirely; and

WHEREAS, these limitations negatively impact the ability of communities to ensure public safety and promote walkability, accessibility, and local character; and

WHEREAS, the bill mandates new residential density requirements based solely on municipal population, allowing development by right, without public input or review by elected officials, overriding local comprehensive plans and threatening neighborhood character; and

WHEREAS, the bill would remove essential land development practices that municipalities use to protect property values, support responsible growth, attract new businesses and residents, and preserve the unique identity and quality of life; and

WHEREAS, the North Carolina League of Municipalities has urged local government to review and voice concerns about NC House Bill 765, recognizing the bill's broad and lasting negative impact on local self-governance.

NOW THEREFORE BE IT HEREBY RESOLVED, the Mayor and City Council of the City of Locust strongly oppose North Carolina House Bill 765. We further ask that you not support any legislation that would limit control of planning and zoning.

Approved this 10th day of May 2025.

Stephen Huber, Mayor



City of Locust

Post Office Box 190
Locust, North Carolina 28097-0190
(704) 888-5260

RESOLUTION OPPOSING NORTH CAROLINA SENATE BILL 688

WHEREAS, North Carolina Senate Bill 688, entitled Local Government Land Use Reform, was recently introduced in the North Carolina General Assembly; and

WHEREAS, NC Senate Bill 688 would significantly limit the ability of local governments across the state to make decisions regarding local land-use planning and zoning; and

WHEREAS, the bill undermines the authority entrusted to elected municipal officials by their communities; and

WHEREAS, the bill represents a harmful reworking of local planning and zoning powers, including provisions that eliminate local standards entirely; and

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NOW THEREFORE BE IT HEREBY RESOLVED, the Mayor and City Council of the City of Locust strongly oppose North Carolina Senate Bill 688. We further ask that you not support any legislation that would limit control of planning and zoning.

Approved this 10th day of May 2025.

Stephen Huber, Mayor

Cesar,

Below is a list of items I'd recommend we surplus. With your approval I'd like to proceed and make this happen. Please let me know if you need any further information.

<u>Year</u>	<u>Manufacturer</u>	<u>Model</u>	<u>Description</u>	<u>Serial/Vin#</u>	<u>Hours/Miles</u>
1991	GMC	Top Kick	Tandem Axle Dump Truck w/Snowplow	1GDT7H4J1MJ520214	94921
2001	John Deere	Gator	4x2 Utility Vehicle	W004X2X067549	4835
	Toro	Sandpro	Field Groomer w/Attachments(mat drag, nail drag, broom, & surface finisher)		678
2016	Hudson	HTD18D	10-Ton Tandem Axle Dovetail	10HHTD1D1H2000002	
	Mosca		<u>Christmas Decorations</u>		
			30' White Light Panel Christmas Tree		
			(25) Pole Mounted Christmas Tree & Wreaths		
			Season's Greetings Skyline		

Thanks in advance,

Tim



TIMOTHY C. FLIEGER CPWP-M

Director of Public Works

📞 704-888-5260 ext. 106

✉️ tfliieger@locustnc.gov

🌐 www.locustnc.com

📍 219 Kylie Court, Locust NC 28097

Locust Wastewater
Monthly Metering

Monthly Wastewater Flow Recordings

<u>Date</u>	<u>Time</u>	<u>Meter</u>	<u>Daily Total</u>	<u>Recorded Rain Fall(")</u>
Tuesday, April 1, 2025	11:59:59 PM	327857.5	327857.5	
Wednesday, April 2, 2025	11:59:59 PM	657808.8	329951.3	
Thursday, April 3, 2025	11:59:59 PM	986035.0	328226.3	
Friday, April 4, 2025	11:59:59 PM	1327949.1	341914.1	
Saturday, April 5, 2025	11:59:59 PM	1683897.5	355948.4	
Sunday, April 6, 2025	11:59:59 PM	2049254.7	365357.2	0.11
Monday, April 7, 2025	11:59:59 PM	2445281.6	396026.9	0.75
Tuesday, April 8, 2025	11:59:59 PM	2844413.1	399131.6	0.05
Wednesday, April 9, 2025	11:59:59 PM	3193861.3	349448.1	
Thursday, April 10, 2025	11:59:59 PM	3577417.5	383556.3	0.66
Friday, April 11, 2025	11:59:59 PM	4000361.0	422943.4	0.03
Saturday, April 12, 2025	11:59:59 PM	4383047.5	382686.6	
Sunday, April 13, 2025	11:59:59 PM	4760352.5	377305.0	
Monday, April 14, 2025	11:59:59 PM	5108587.5	348235.0	
Tuesday, April 15, 2025	11:59:59 PM	5448253.8	339666.3	
Wednesday, April 16, 2025	11:59:59 PM	5794298.8	346045.0	
Thursday, April 17, 2025	11:59:59 PM	6128396.3	334097.5	
Friday, April 18, 2025	11:59:59 PM	6459687.8	331291.6	
Saturday, April 19, 2025	11:59:59 PM	6796661.9	336974.1	
Sunday, April 20, 2025	11:59:59 PM	7106058.1	309396.3	
Monday, April 21, 2025	11:59:59 PM	7431635.0	325576.9	
Tuesday, April 22, 2025	11:59:59 PM	7740528.5	308893.4	0.02
Wednesday, April 23, 2025	11:59:59 PM	8042901.6	302373.1	
Thursday, April 24, 2025	11:59:59 PM	8343251.3	300349.7	
Friday, April 25, 2025	11:59:59 PM	8653766.3	310515.0	
Saturday, April 26, 2025	11:59:59 PM	8968053.2	314286.9	
Sunday, April 27, 2025	11:59:59 PM	9302095.0	334041.9	
Monday, April 28, 2025	11:59:59 PM	9619068.2	316973.1	
Tuesday, April 29, 2025	11:59:59 PM	9942963.8	323895.6	
Wednesday, April 30, 2025	11:59:59 PM	10257832.2	314868.4	0.04

Monthly Total	10257832.2	1.66
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Daily Average	341927.74
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APRIL 2025 SUMMARY

APRIL 2025

CATEGORY	AMOUNT
Total Calls Dispatched/Initiated	302
Traffic Stops Conducted	482
Business And Neighborhood Patrols	3,081
Arrest Charges Made	32
Citation Charges Issued	194
Warnings Issued	348
Traffic Crashes Reported	18
Total Activities Attended By LPD	3,865

APRIL 2025 OFFICER OF THE MONTH



Officer D. Caleb Whitley

- 340 Patrols Completed (3rd For Month)
- 43 Citation Charges (2nd)
- 46 Warnings Issued (4th)
- 11 Arrest Charges (1st In Department)
- 2 DWI Arrests
- 82 Traffic Stops Conducted (3rd)
- 51 Calls Attended (3rd)
- Graduated With Associate's Degree In Criminal Justice From Stanly Community College

Planning and Zoning

April 2025

13 New House permits
True, Century

Summit, SDH,

5 Remodels

3 Fence

1 Rooftop Solar

1 Deck

1 Porch

1 Commercial addition

Walmart

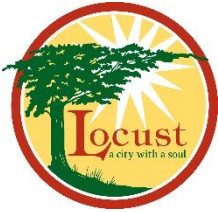
1 New Senior Center

City of Locust

3 Plat approval
map 1-2, WH Final Plat

WH 5-8, Cresswinds P1

25 New Housing permits as of 4/30/2025



City of Locust

Post Office Box 190
Locust, North Carolina 28097-0190
(704) 888-5260

MEMORANDUM

Date: April 4, 2025
From: Cesar Correa, City Manager
To: Mayor & City Council
Subject: Zoning Amendment (Conditional) – Stanly County PIN#: 556401377753

BACKGROUND & PETITION INFORMATION

On February 14, 2025 the City of Locust received an application for a Conditional Zoning Amendment (Exhibit #1) for the property shown on the attached zoning map (Exhibit 2). The specifics of the rezoning application are as follows:

Applicant: Russell Huntley

Owner Information: Caliber Associates Inc.

Existing Zoning: Campus Business Institutional (CBI)

Proposed Zoning: Campus Business Institutional - Conditional (CBI-C)

Permitted Uses: All uses permitted in the Campus Business Institutional zoning district as shown in Article 2 Section 5 Use Table of the City of Locust Land Development Ordinance, would be permitted on the subject property. The proposed use *Contractors Office/Shop (with outdoor storage)* is a conditional use in the Highway Commercial District.

Parcel ID Numbers: Stanly County PIN#: 556401377753

Area in Acres: +/- 4 acres

Site Description: This property is part of the Meadow Creek Business Park development. The site is surrounded by other parcels similar in size and use.

Adjacent Land Use: Commercial (Champion Fence, storage) and Vacant

Surrounding Zoning: The property is surrounded by Campus Business Institutional (CBI) on all sides.

Utility Service Provider: The property will be served by public water through Stanly County Utilities, and sewer provided by the City of Locust.

EXHIBITS

1. Application for Zoning Change
2. Zoning Map
3. Site Plan
4. Proposed Elevations

LAND USE PLAN ANALYSIS

The property lies within the area designated on the adopted 2014 Land Use Plan for industrial uses.

The 2014 Land Use Plan specifically references the Meadow Creek Business Park and states:

“Industrial development in Locust is primarily located in the Meadow Creek Business Park, which is privately owned and can accommodate industrial, commercial, and office uses.”

The property is currently zoned Campus Business Institutional (CBI). This amendment is reasonable because the property is adjacent to existing commercial uses, which are components of the Meadow Creek Business Park development. The amendment allows for the growth and expansion of the City’s commercial tax base and sales taxes, thus providing opportunities for local jobs for the community.

FINDINGS AND CONCLUSIONS

The applicant submitted a Site Plan (Exhibit #3) and proposed elevations (Exhibit #4) for the overall development of the property that will be attached to the approval of the conditional rezoning should the City choose to support this request.

Staff has reviewed the Site Plan and finds that it meets the standards of the City of Locust Land Development Ordinance.

POLICY IMPLICATIONS

The City of Locust Land Development ordinance and the North Carolina General statutes require the Planning & Zoning Board to make a recommendation on the zoning amendment.

On February 24, 2025 the Locust Planning & Zoning Board reviewed the zoning amendment petition and voted unanimously to recommend ***approval*** of the proposed Campus Business Institutional – Conditional (CBI-C) zoning designation.

Notice of the meeting and this agenda item have been publicized, letters have been mailed to all adjacent property owners within 500ft of the subject property, and a zoning hearing sign has been posted on the property.

The Council may vote to recommend approval, denial, or to modify the recommended classification in accordance with the adopted 2014 Land Use Plan.

SUGGESTED MOTION LANGUAGE

The following suggested motion language is provided as a guideline to assist the Council with references required for zoning amendments. The language may be altered as deemed appropriate by any member of the City Council in the making of a motion.

Suggested motion: “To approve the conditional rezoning request designating the subject property as Campus Business Institutional – Conditional (CBI-C) with the associated site plan and proposed elevations, to be consistent with the 2014 Land Use Plan.



City of Locust
Post Office Box 190
Locust, North Carolina 28097-0190
(704) 888-5260

Exhibit 1

Application for Conditional Zoning Change

Date: February 14, 2025

Applicant Name: Russell Huntley

Company Name (if applicable) Caliber Associates Inc

Address: 7900-D Stevens Mill Rd. Box B, Mathews NC 28104

Phone Number: 704-296-1172 email: rhuntley@caliber.com

Address of Property Change: PIN: 5564013777753 (Corner of Whitney Dr/Kylie Ct)

Present Zoning District: CBI

Requested Zoning District: **CBI with Outside Storage**

Applicant Signature:  Agent for Russell Huntley

Agent: D&A Wolverine PLLC Civil Engineering

Contact: Christopher Fleck PE

Phone/Email: 704-494-9776 chris@dnawolverine.com

The following information is required with the application:

- (1) Map of the property to be rezoned, accurate description to show the following:
 - a. All property lines with dimensions, north arrow.
 - b. Names and addresses of adjoining landowners.
 - c. Location of all existing structures, use of all land.
 - d. Zoning classifications of all abutting zoning districts.
- (2) Comprehensive site plan.
- (3) Color renderings of the exterior.
- (4) Comprehensive landscape plan
- (5) All signage “monument and building “
- (6) A fee of \$500 (non- refundable) must accompany this application.

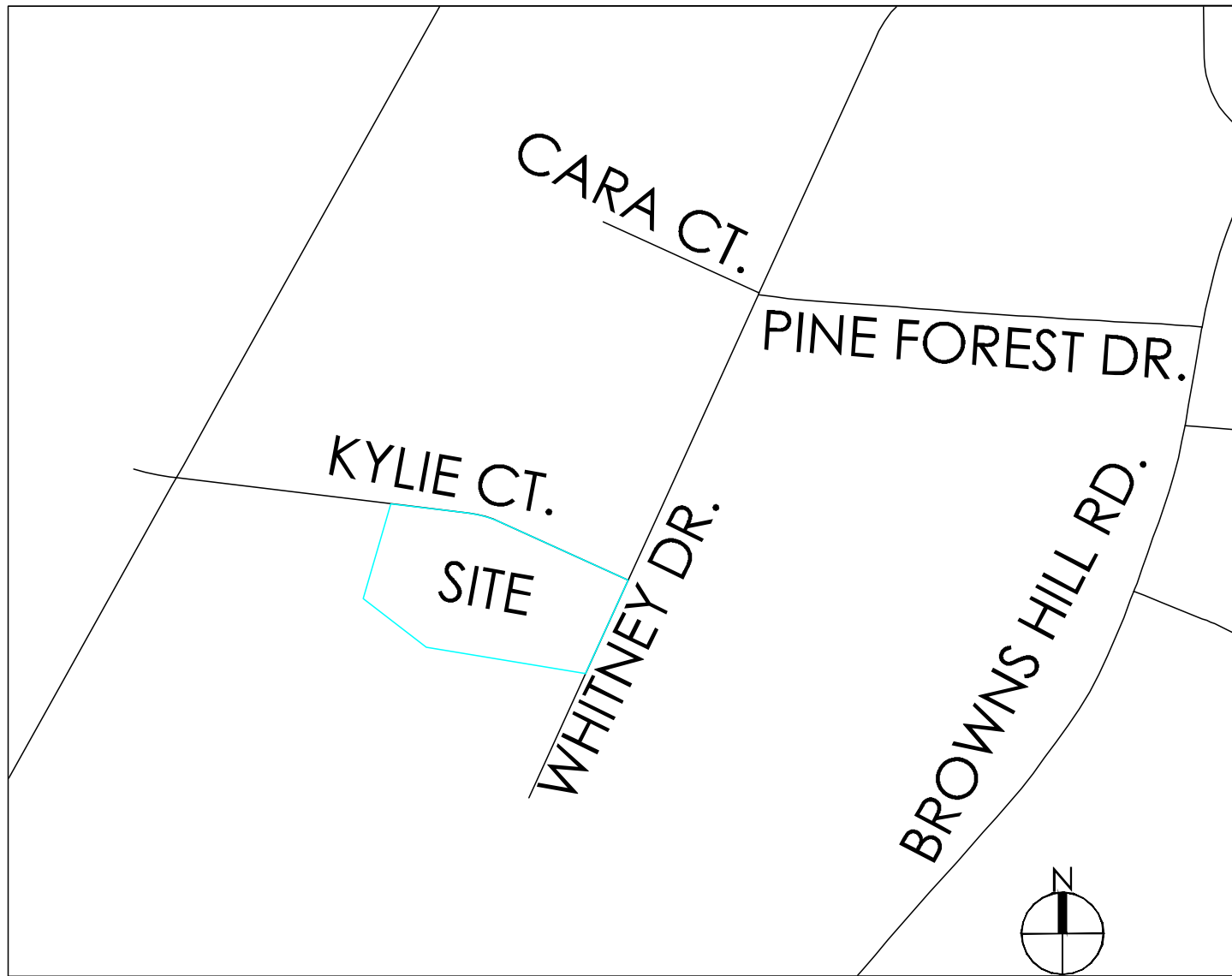


CALIBER CORNER AT MEADOW CREEK

MEADOW CREEK BUSINESS PARK

CITY OF LOCUST, STANLY COUNTY, NORTH CAROLINA

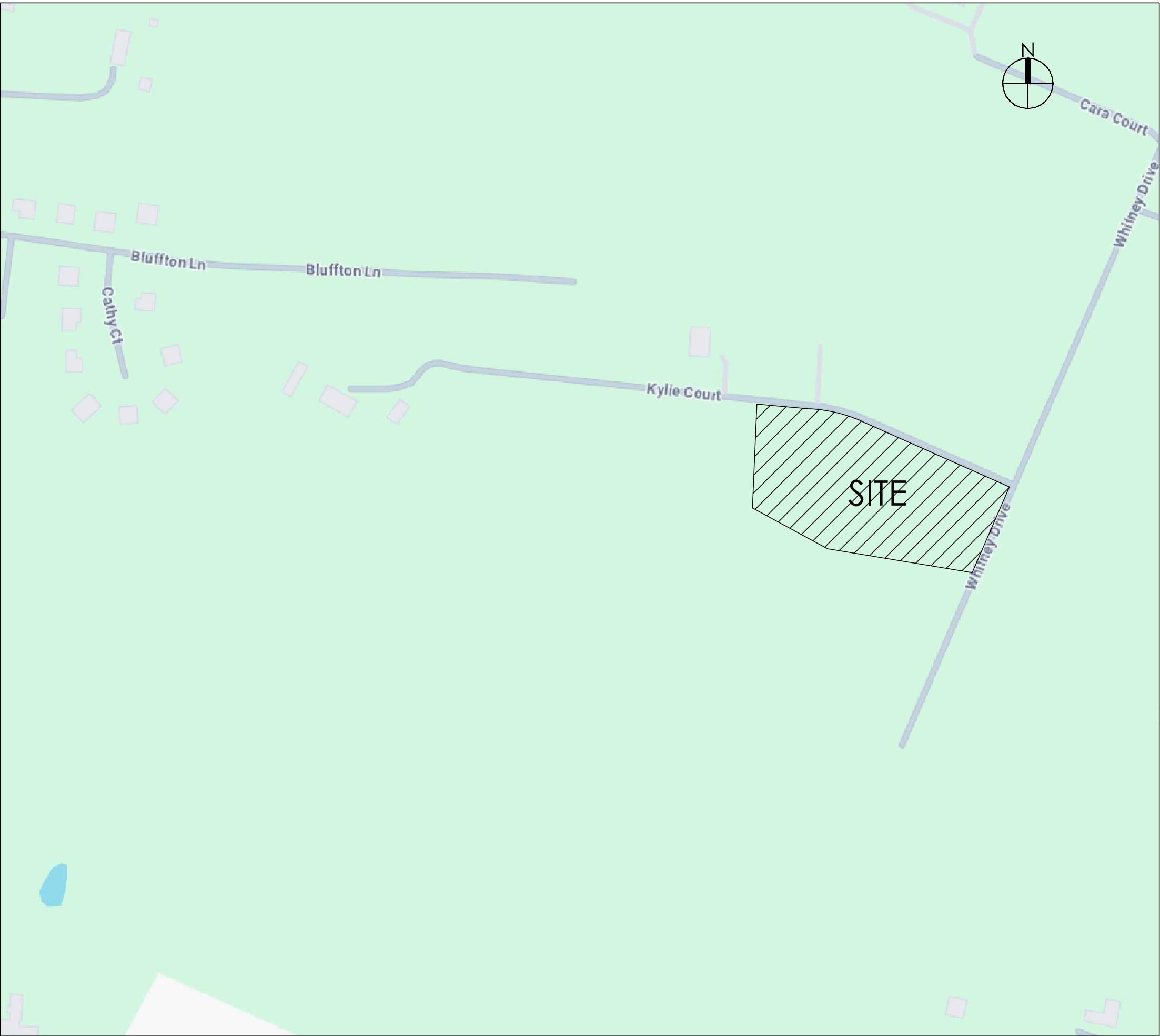
RE-ZONING SITE PLAN



VICINITY MAP
NOT TO SCALE

SITE DATA TABLE

ADDRESS: # TBD KYLIE CT.		
LOCUST, NC 28097		
TOTAL SITE AREA: ±4.00 ACRES		
PIN NO: 556401377753		
EXISTING ZONING: CBI		
EXISTING LAND USE: VACANT		
PROPOSED LAND USE: INDUSTRIAL WAREHOUSE/ OFFICE W/ OUTSIDE STORAGE		
EXISTING IMPERVIOUS AREA: 0.00 AC		
PROPOSED IMPERVIOUS AREA: 2.74 AC (69%)		
PROPOSED DISTURBED AREA: 3.37 AC		
PROPOSED BUILDING SETBACKS: FRONT = 30FT, SIDE = 20 FT, REAR = 20 FT		
PARKING:		
		REQUIRED
WAREHOUSE AREA	2.5 PER 1000 SF	36
OFFICE SPACE	1 PER 500 SF	8
PARKING REQUIRED: 44 SPACES		
PARKING PROVIDED: 45 SPACES		
ACCESSIBLE PROVIDED: 2		
LOADING: (4) AT GRADE ROLL UP DOORS		
SOLID WASTE/RECYCLING: CONCRETE PAD W/ DUMPSTER SCREENING ENCLOSURE LOCATED AT REAR OF SITE (2) DUMPSTERS, (1) RECYCLING		



OVERALL SITE MAP
NOT TO SCALE

NOTES:

1. ALL PROPOSED UTILITIES SHALL BE UNDERGROUND.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE STANDARDS.
3. SOIL EROSION CONTROL SHALL COMPLY WITH CITY OF LOCUST AND NCDEQ REGULATIONS.
4. STORMWATER BMP/SCM NOT REQUIRED PER CITY OF LOCUST ORDINANCES.
5. LANDSCAPING SHALL COMPLY WITH CITY OF LOCUST REGULATIONS.
6. LIGHTING SHALL COMPLY WITH CITY OF LOCUST REGULATIONS.
7. PROPOSED WATER AND SEWER SHALL BE PER CITY OF LOCUST PUBLIC WORKS STANDARDS AS APPLICABLE.
8. OUTSIDE STORAGE OF EQUIPMENT AND MATERIALS SHALL BE PERMITTED ONSITE AS SHOWN ON SITE PLAN.
9. OUTSIDE STORAGE SHOWN MAY BE PHASED UP TO THE MAXIMUM AREA SHOWN.
10. OUTSIDE STORAGE SHALL BE FENCED AND SCREENED PER ORDINANCE.

SHEET INDEX

SHEET NO.	SHEET NAME
C1 L-1 R-2	COVER SHEET LANDSCAPING PLAN RE-ZONING SITE PLAN
DD1.1 DD1.2 DD1.3 DD2.1 DD2.2 DD3.1	FLEX BUILDING - FLOOR PLAN FLEX BUILDING - EXTERIOR ELEVATIONS FLEX BUILDING - RENDERINGS OFFICE BUILDING - PLAN & ELEVATIONS OFFICE BUILDING - RENDERINGS SCREENING ELEVATIONS

NOTE:
CONDITIONAL RE-ZONING PLAN ONLY, NOT FOR CONSTRUCTION.

APPLICANT:
CALIBER ASSOCIATES INC.
7900-D STEVENS MILL RD. BOX 8
MATTHEWS, NC 28104
CONTACT: RUSSELL HUNTLEY
PHONE: 704-296-1172
EMAIL: rhuntley@caliber.com

PROPERTY OWNER:
CALIBER ASSOCIATES INC.
7900-D STEVENS MILL RD. BOX 8
MATTHEWS, NC 28104
CONTACT: RUSSELL HUNTLEY
PHONE: 704-599-1010
EMAIL: rhuntley@caliber.com

ARCHITECT:
LINK ARCHITECTURE-CLT
1464 CENTER PARK DR.
CHARLOTTE, NC 28217
CONTACT: JASON NEWSOME, NCARB
PHONE: 704-599-1010
EMAIL: jnewsome@linkclt.com

CIVIL ENGINEER: (NCBELS #P-1223)
D&A WOLVERINE PLLC
6120 BROOKSHIRE BLVD. UNIT R
CHARLOTTE, NC 28216
CONTACT: CHRISTOPHER FLECK, PE
PHONE: 704.494.9776
EMAIL: chris@dnawolverine.com
www.dnawolverine.com

LINK
ARCHITECTURE-CLT
1464 Center Park Dr
Charlotte, NC 28217
(704) 599-1010



DATE	BY	REVISION
PROJECT #:	DATE:	SHEET:
232020	02/14/2025	C1

Exhibit 3

RE-ZONING SITE PLAN

BRACK INVESTMENTS LLC.
164 KYLIE CT.
DB. 1519, PG. 745
PIN: 556401384221
ZONED CBI

PHINLEAH INC.
KYLIE CT.
DB. 1685, PG. 281
PIN: 556401385179
ZONED CBI

PHINLEAH INC.
KYLIE CT.
DB. 1685, PG. 281
PIN: 556401387177
ZONED CBI

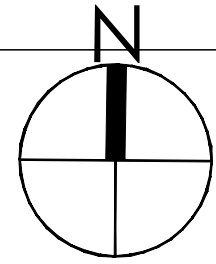
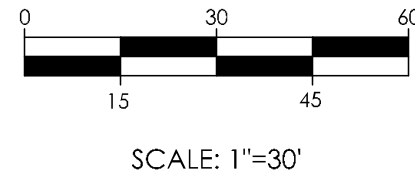
PHINLEAH INC.
KYLIE CT.
DB. 1685, PG. 281
PIN: 556401389048
ZONED CBI

VECTOR NC LLC.
KYLIE CT.
DB. 1764, PG. 1639
PIN: 55640180092
ZONED CBI

MEADOW CREEK BUSINESS PARK LLC.
198 BROWNS HILL RD.
DB. 1141, PG. 754
PIN: 556503419331
ZONED CBI

MEADOW CREEK BUSINESS PARK LLC.
198 BROWNS HILL RD.
DB. 1141, PG. 754
PIN: 556503419331
ZONED CBI

CHAMPION PROPERTIES LLC.
351 WHITNEY DR.
DB. 1846, PG. 1581
PIN: 556401471380
ZONED CBI



CIVIL ENGINEERING

D&A WOLVERINE, PLLC

6120 BROOKSHIRE BOULEVARD UNIT R

CHARLOTTE, NC 28273

TEL: 704.494-9776

WWW.DNAWOLVERINE.COM

NCBELS LICENSE NO: P-1223



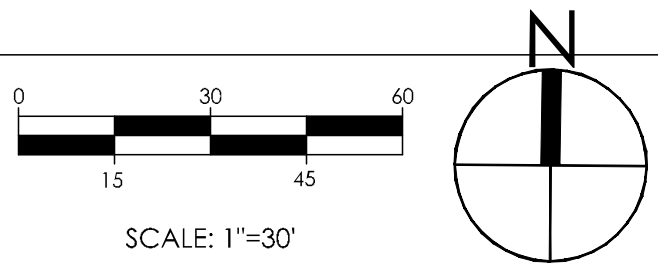
CONDITIONAL RE-ZONING
PLAN ONLY, NOT FOR
CONSTRUCTION.

CALIBER CORNER
AT MEADOW CREEK
MEADOW CREEK BUSINESS PARK
CITY OF LOCUST, NORTH CAROLINA
RE-ZONING SITE PLAN

DATE	BY	REVISION
PROJECT #:	DRAWN BY:	DCF
232020	CHECKED BY:	FLG
DATE:	APPROVED BY:	CMF
02/14/2025	SHEET:	
SCALE:		
1"=30'		

R-2

LANDSCAPING PLAN



BRACK INVESTMENTS LLC.
164 KYLIE CT.
DB. 1519, PG. 745
PIN: 556401384221
ZONED CBI

PHINLEAH INC.
KYLIE CT.
DB. 1685, PG. 281
PIN: 556401385179
ZONED CBI

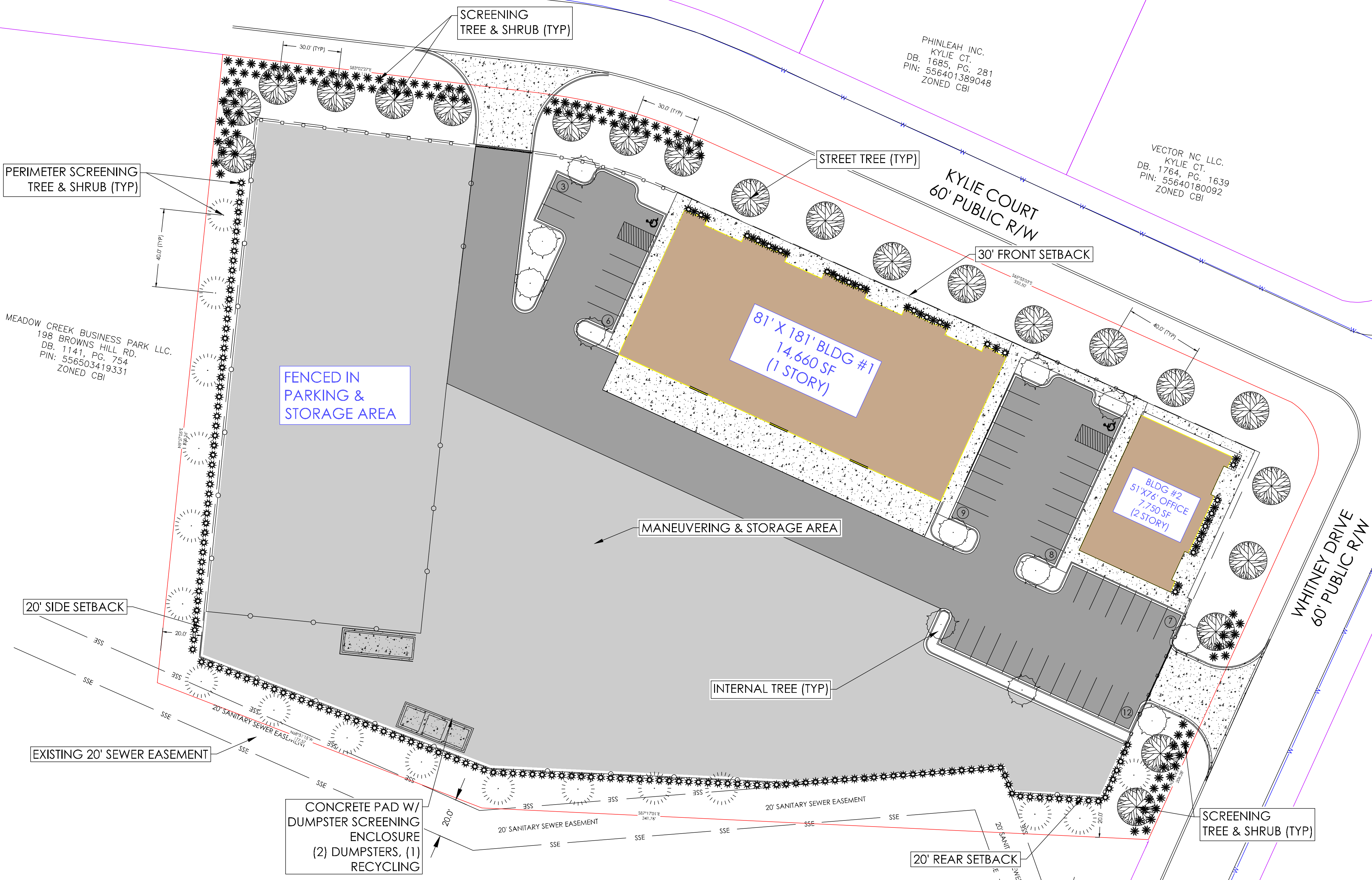
PHINLEAH INC.
KYLIE CT.
DB. 1685, PG. 281
PIN: 556401387177
ZONED CBI

PHINLEAH INC.
KYLIE CT.
DB. 1685, PG. 281
PIN: 556401389048
ZONED CBI

VECTOR NC LLC.
KYLIE CT.
DB. 1764, PG. 1639
PIN: 55640180092
ZONED CBI

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198 BROWNS HILL RD.
DB. 1141, PG. 754
PIN: 556503419331
ZONED CBI

CHAMPION PROPERTIES LLC.
351 WHITNEY DR.
DB. 1846, PG. 1581
PIN: 556401471380
ZONED CBI



TREE LIST

SYMBOL	QTY	TYPE	APPLICATION	SIZE
	12	OVERCUP OAK (QUERCUS LYRATA)	LARGE INTERNAL TREE	3" CAL. MIN. 8' HEIGHT MIN.
	22	NUTTALL OAK (QUERCUS NUTTALLI)	LARGE STREET TREE	3" CAL. MIN. 8' HEIGHT MIN.
	17	SUGAR MAPLE (ACER SACCHARUM)	LARGE PERIMETER TREE	3" CAL. MIN. 8' HEIGHT MIN.

SHRUB LIST

SYMBOL	QTY	TYPE	APPLICATION	SIZE
	175	EVERGREEN SHRUB BURFORD HOLLY (ILEX CORNUTA "BURFORDII NANA")	PARKING & UTILITY SCREENING	PLANTING: 3'0" HT MIN MATURE: 6'0" HT MIN
	140	EVERGREEN SHRUB HELLERS JAPANESE HOLLY (ILEX CRENATA HELLERI)	PARKING & UTILITY SCREENING	PLANTING: 3'0" HT MIN MATURE: 6'0" HT MIN

D&A WOLVERINE, PLLC
CIVIL ENGINEERING
6120 BROOKSHIRE BOULEVARD UNIT R
CHARLOTTE, NC 28273
TEL: 704.494-9776
WWW.DNAWOLVERINE.COM
NCBELS LICENSE NO: P-1223

SEAL:

02/14/25

CONDITIONAL RE-ZONING
PLAN ONLY, NOT FOR
CONSTRUCTION.

CALIBER CORNER
AT MEADOW CREEK
MEADOW CREEK BUSINESS PARK
CITY OF LOCUST, NORTH CAROLINA
LANDSCAPING PLAN

DATE	BY	REVISION
PROJECT #:	232020	DRAWN BY: DCF
CHECKED BY:	FLG	
DATE:	02/14/2025	APPROVED BY: CMF
SHEET:	L-1	



CALIBER CORNER @
MEADOW CREEK

SOUTHWEST CORNER OF
WHITNEY DRIVE & KYLIE COURT
LOCUST, NC 28097

PROJECT NUMBER: 23-048

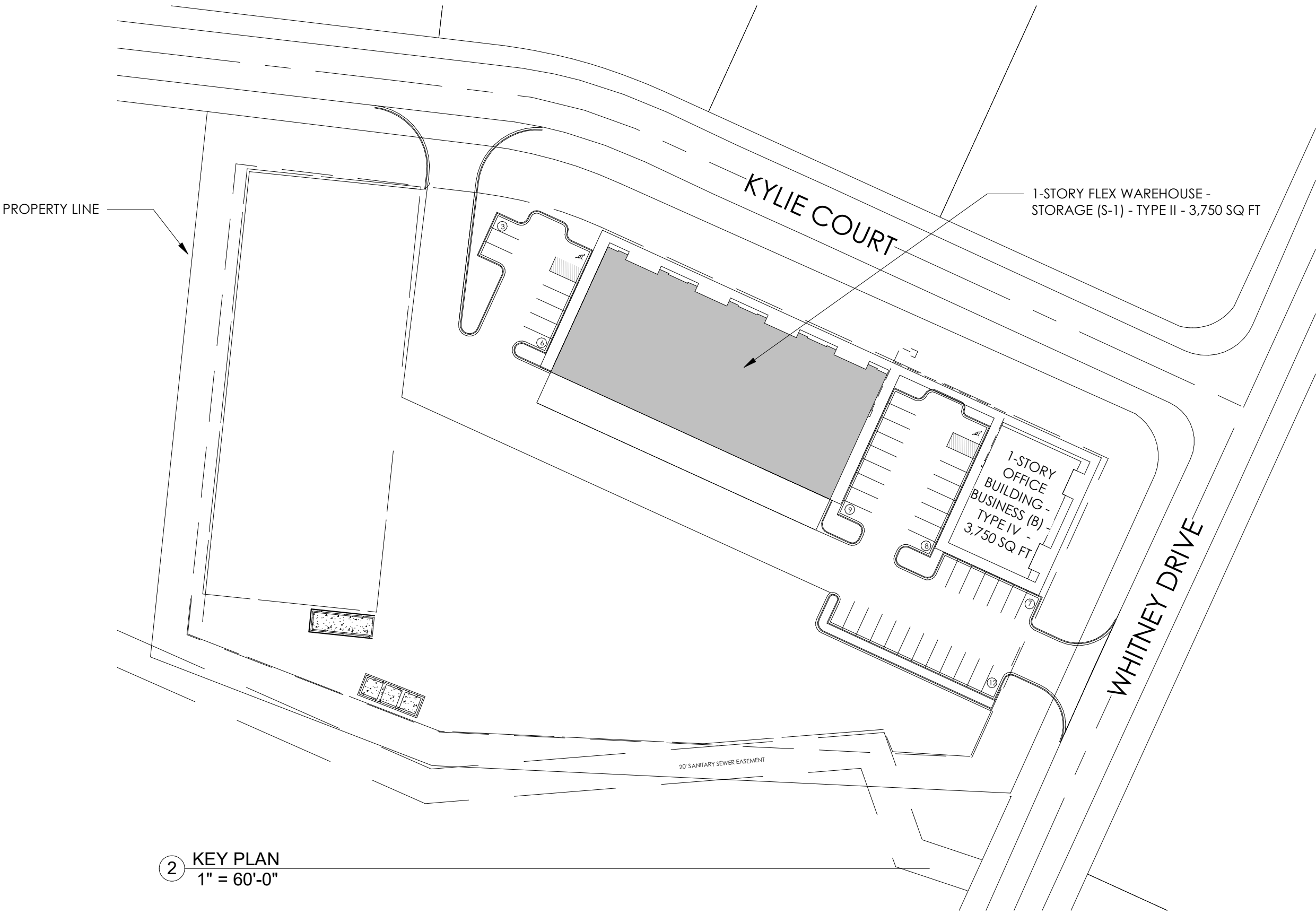
ISSUED: 02/14/2025

REVISIONS:

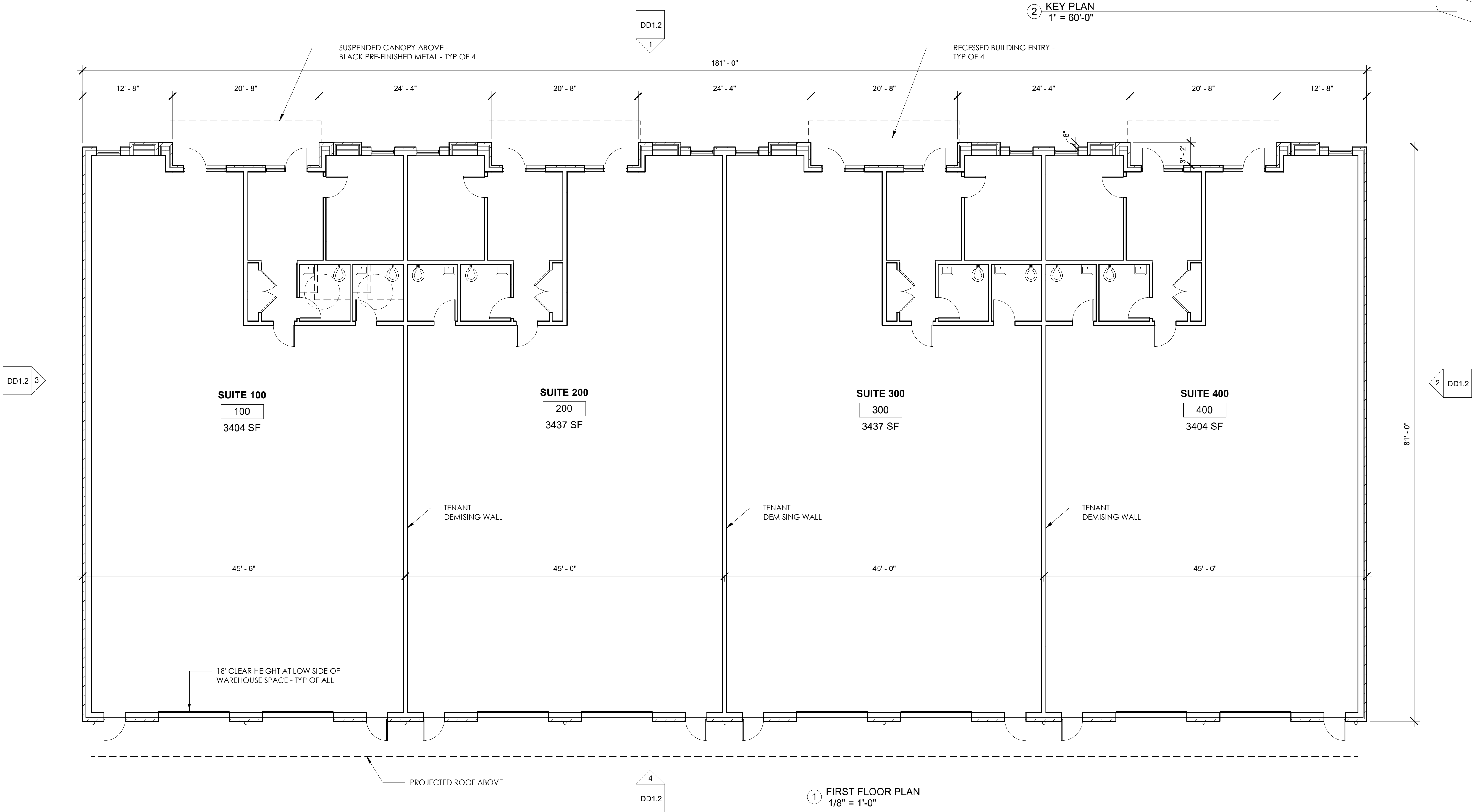
No.	Description	Date

FLEX BUILDING -
FLOOR PLAN

DD1.1



2 KEY PLAN
1" = 60'-0"



1 FIRST FLOOR PLAN
1/8" = 1'-0"

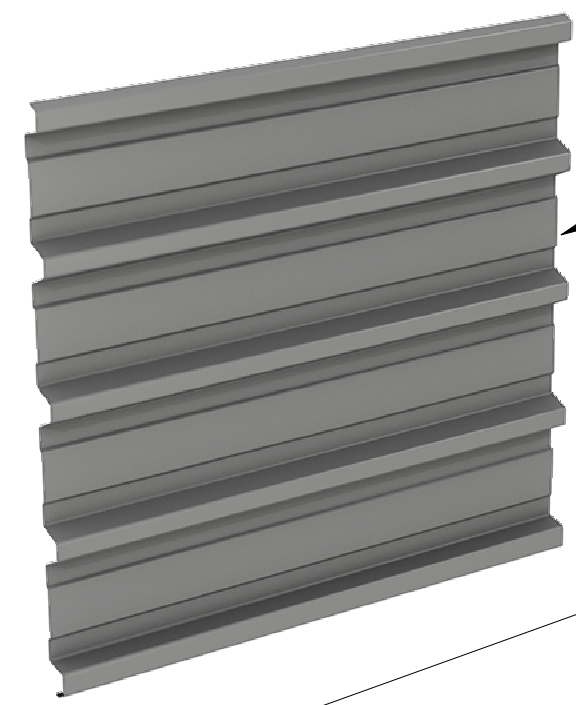


6 WHITE BRICK WITH BLACK TRIM
12" = 1'-0"

SAMPLE PROJECT W/
PANEL TYPE TR4-36



5 CENTRIA METAL PANEL
12" = 1'-0"

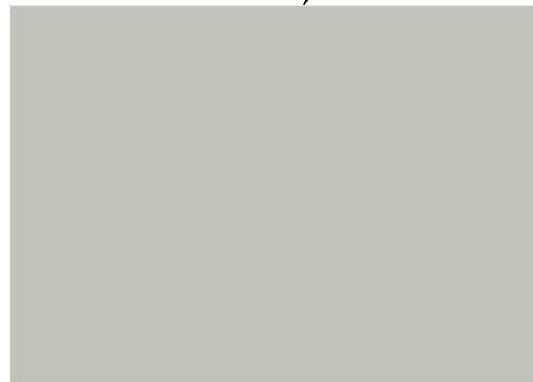


MODEL #TR4-36 - 36" WIDE EXPOSED
FASTENER METAL PANEL - PANEL
PROFILE BY CENTRIA; A NUCOR
COMPANY OR EQUAL ALTERNATE -
STANDARD COLOR: TBD

STANDARD COLOR OPTIONS -
FINAL COLOR TBD



5444 Aged Copper



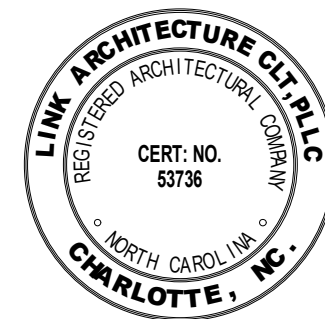
9910 Light Seawolf

LINK

ARCHITECTURE-CLT

1464 CENTER PARK DRIVE
CHARLOTTE, NC 28217
704-599-1010

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ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT WRITTEN
PERMISSION FROM LINK ARCHITECTURE-CLT, PLLC.



CALIBER CORNER @ MEADOW CREEK

SOUTHWEST CORNER OF
WHITNEY DRIVE & KYLIE COURT
LOCUST, NC 28097

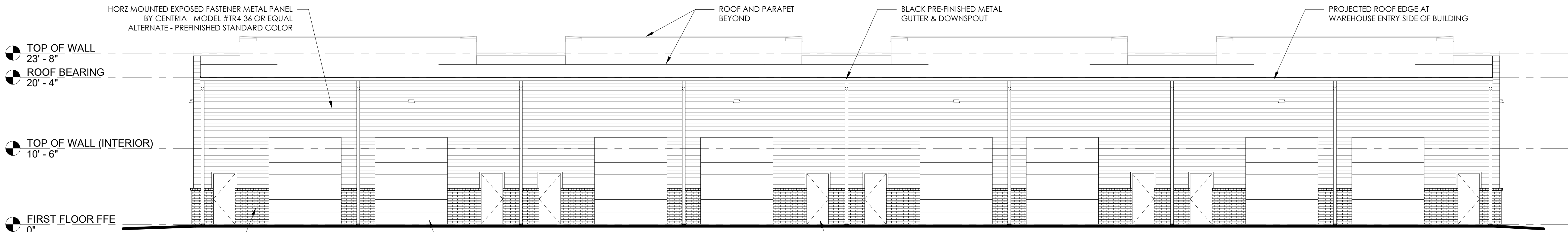
PROJECT NUMBER: 23-048
ISSUED: 02/14/2025

REVISIONS:

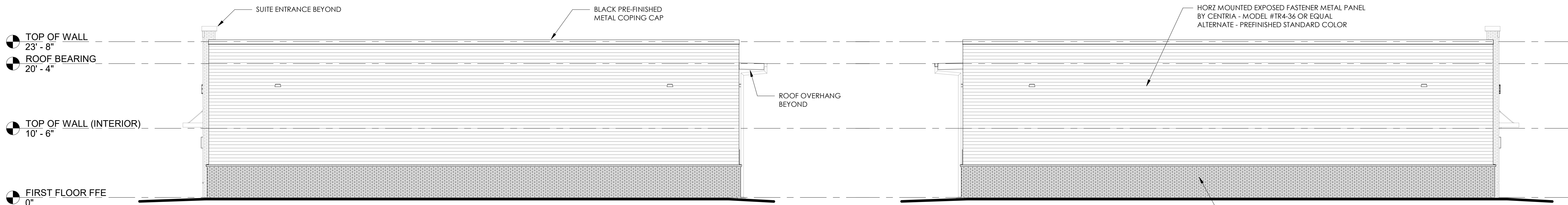
No.	Description	Date

FLEX BUILDING - EXTERIOR ELEVATIONS

DD1.2

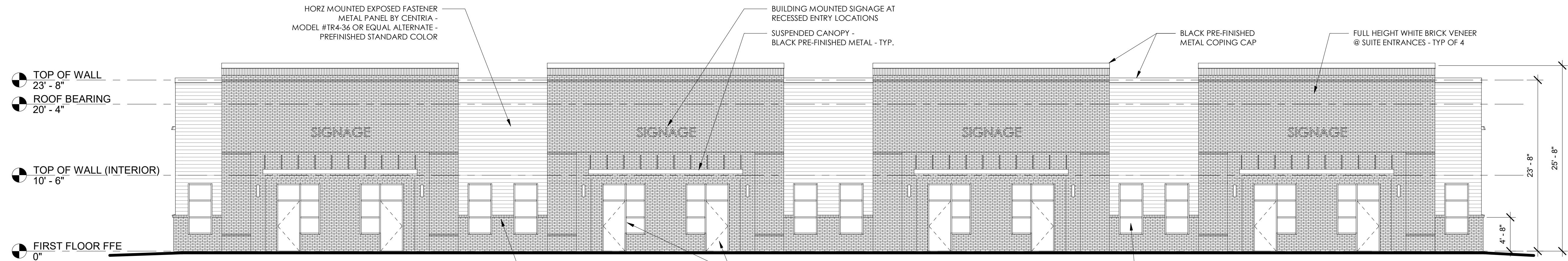


4 TRUCK COURT ELEVATION
1/8" = 1'-0"



2 SIDE ELEVATION
1/8" = 1'-0"

3 SIDE ELEVATION 2
1/8" = 1'-0"



1 FRONT ELEVATION (KYLIE CT)
1/8" = 1'-0"

Exhibit 4



FRONT PERSPECTIVE



AERIAL PERSPECTIVE

LINK
ARCHITECTURE-CLT
1464 CENTER PARK DRIVE
CHARLOTTE, NC 28217
704-599-1010

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**CALIBER CORNER @
MEADOW CREEK**
SOUTHWEST CORNER OF
WHITNEY DRIVE & KYLIE COURT
LOCUST, NC 28097

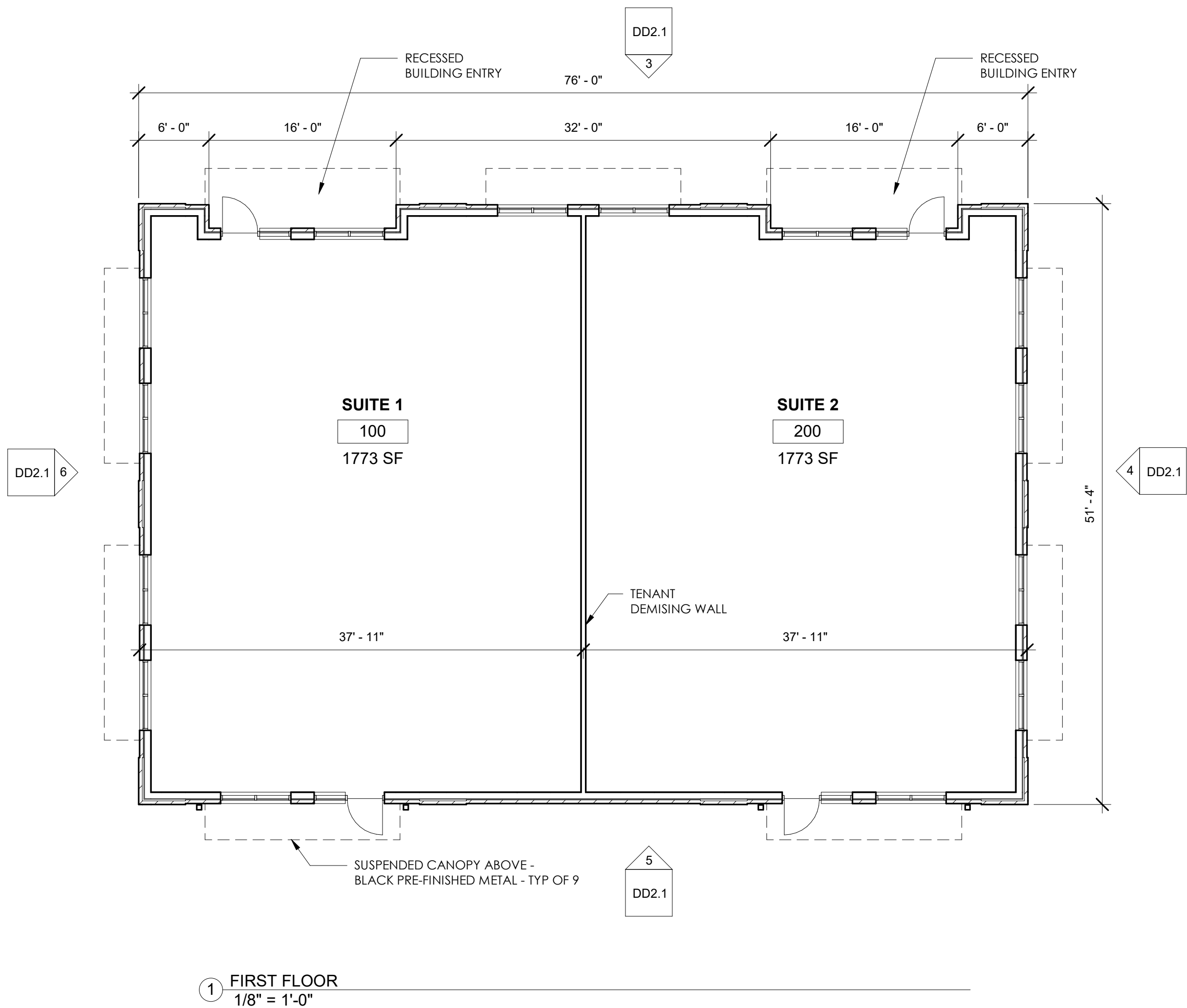
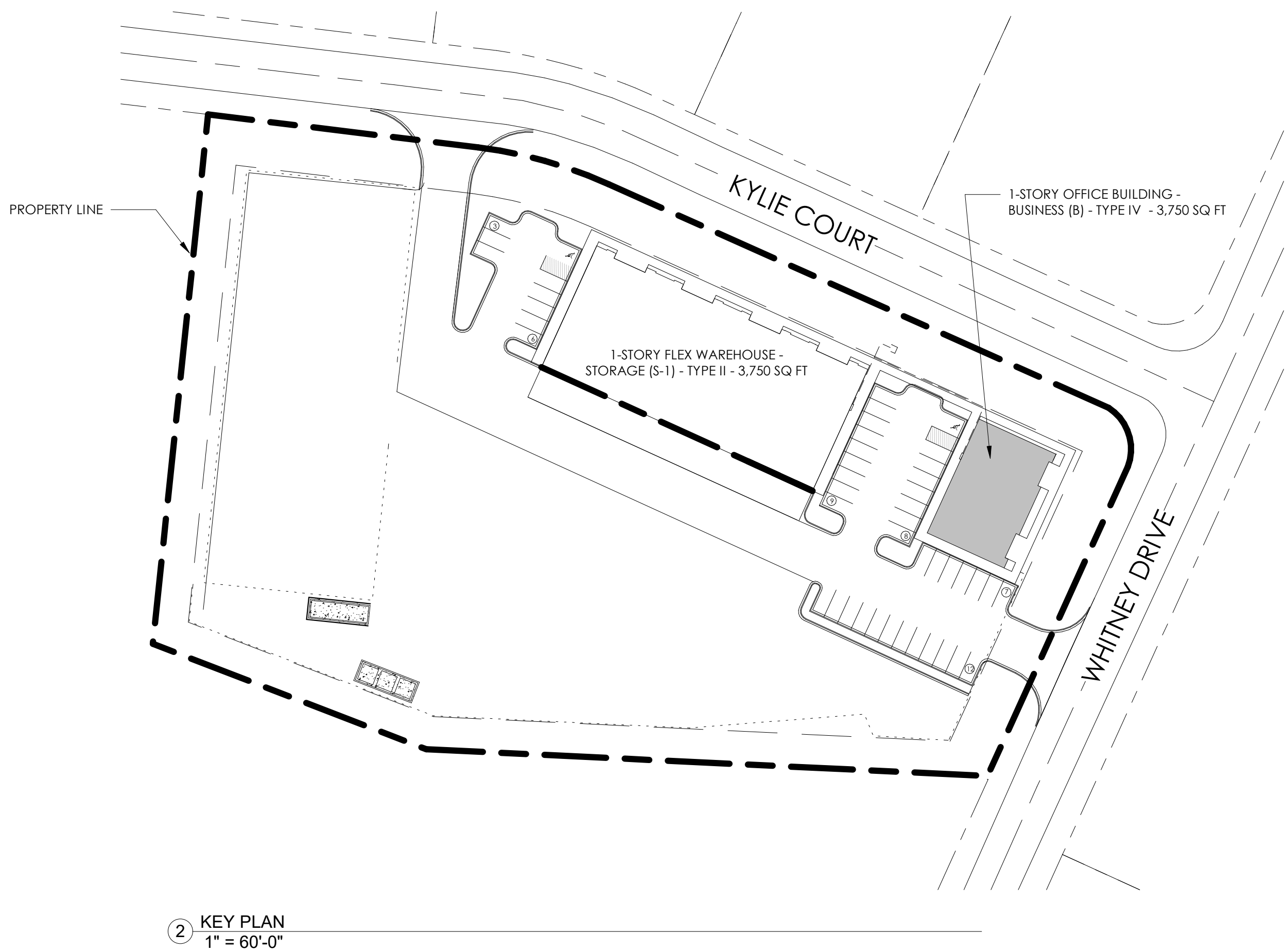
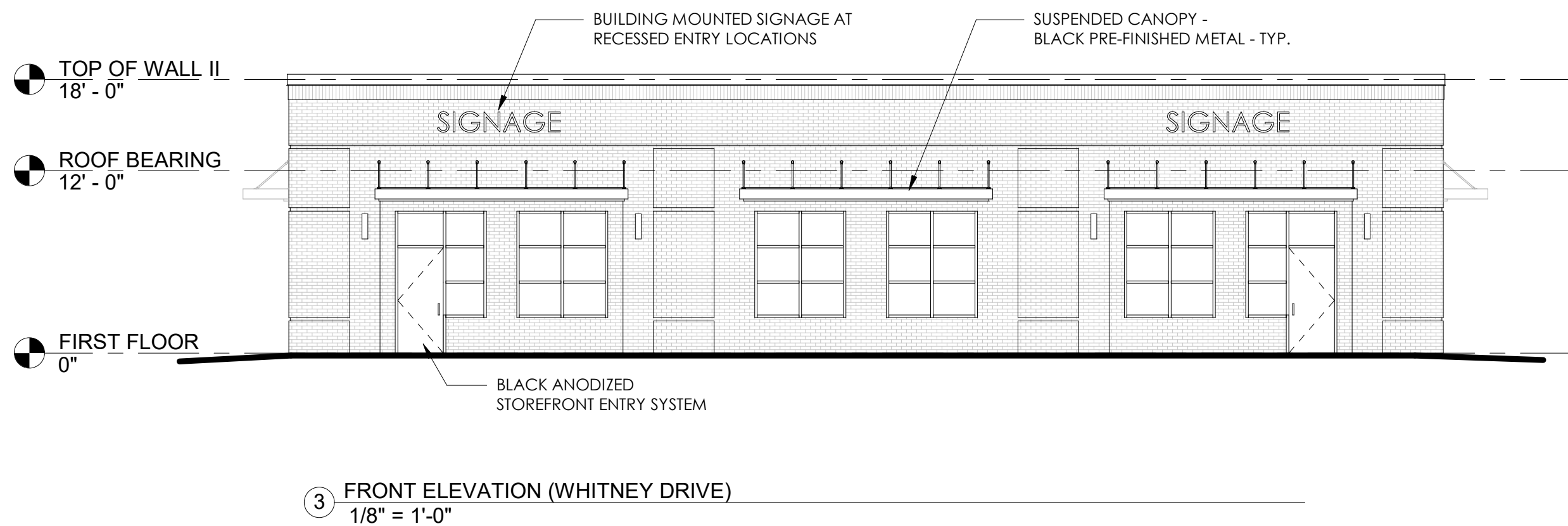
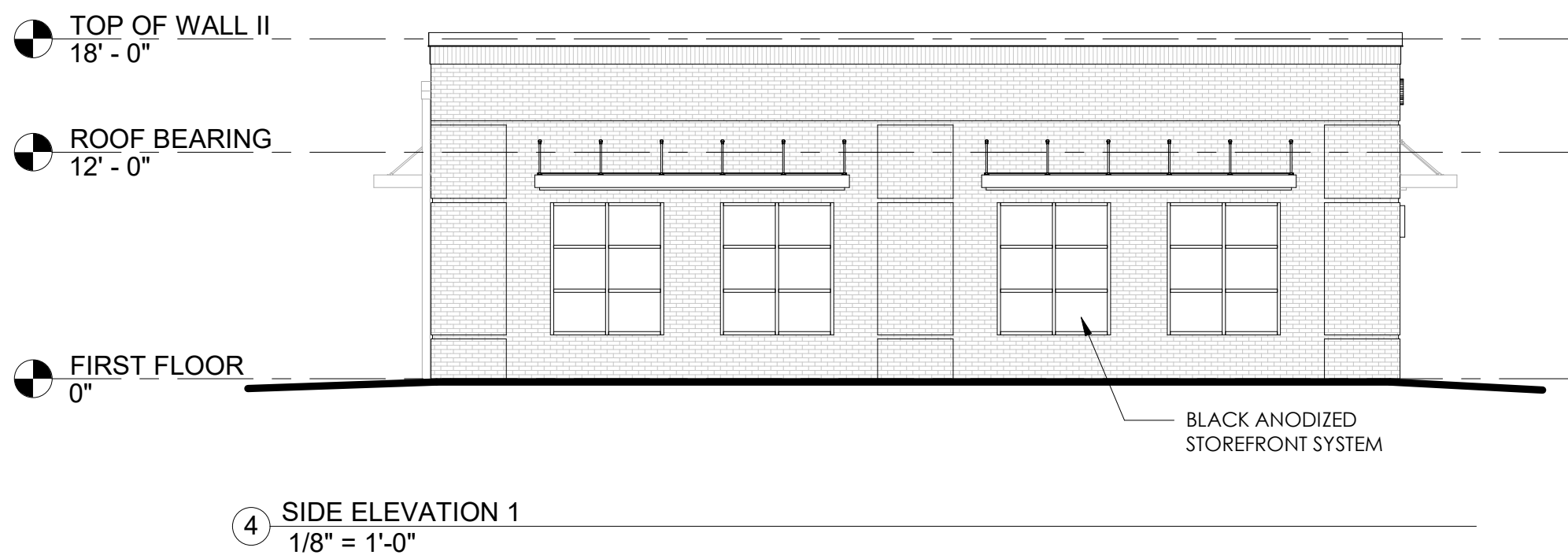
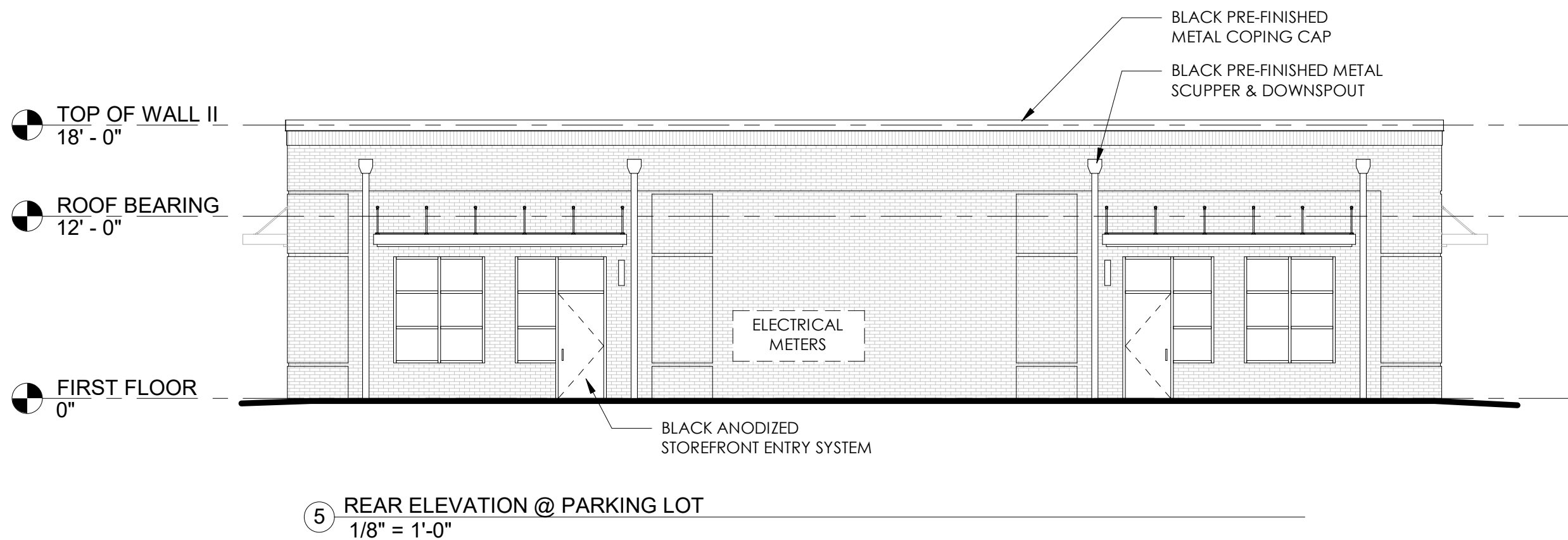
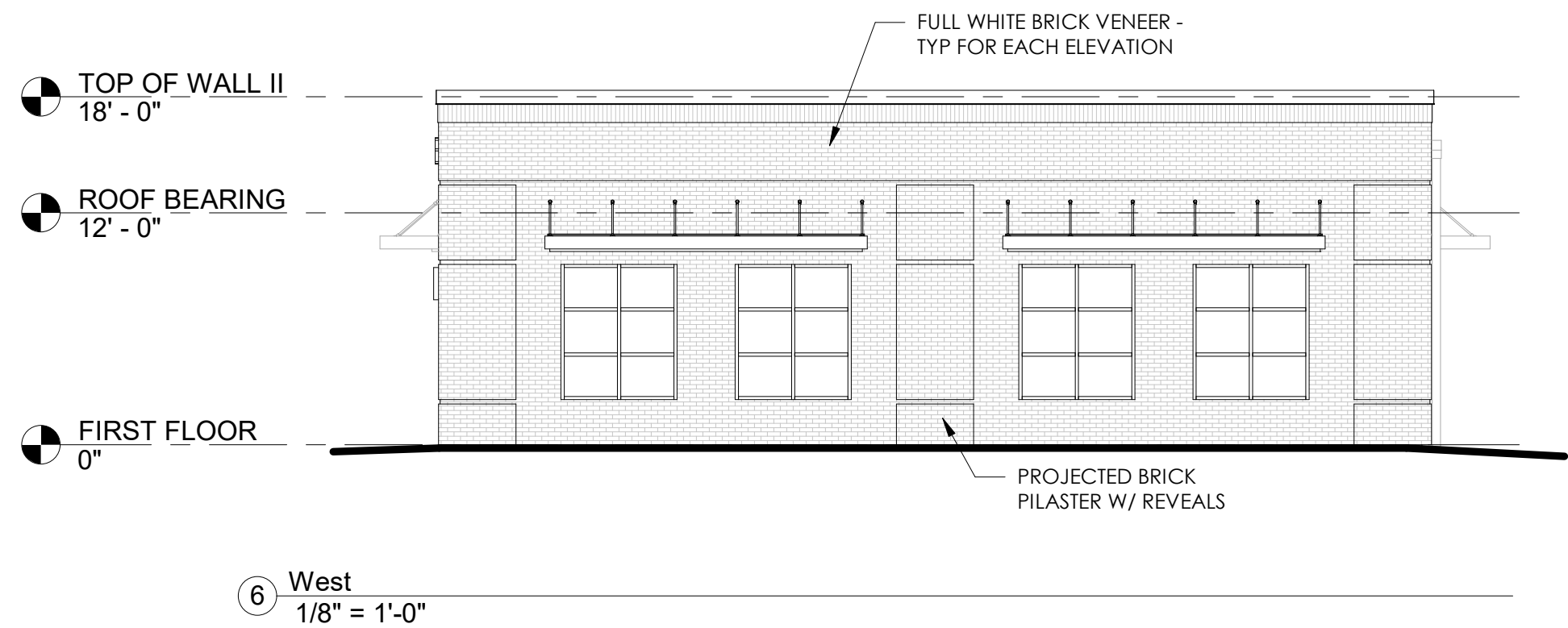
PROJECT NUMBER: 23-048
ISSUED: 02/14/2025

REVISIONS:

No.	Description	Date

**FLEX BUILDING -
RENDERINGS**

DD1.3



REVISIONS:		
No.	Description	Date



FRONT PERSPECTIVE



CORNER PERSPECTIVE

LINK

ARCHITECTURE-CLT

1464 CENTER PARK DRIVE
CHARLOTTE, NC 28217
704-599-1010

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PERMISSION FROM LINK ARCHITECTURE-CLT, PLLC.



**CALIBER CORNER @
MEADOW CREEK**

**SOUTHWEST CORNER OF
WHITNEY DRIVE & KYLIE COURT
LOCUST, NC 28097**

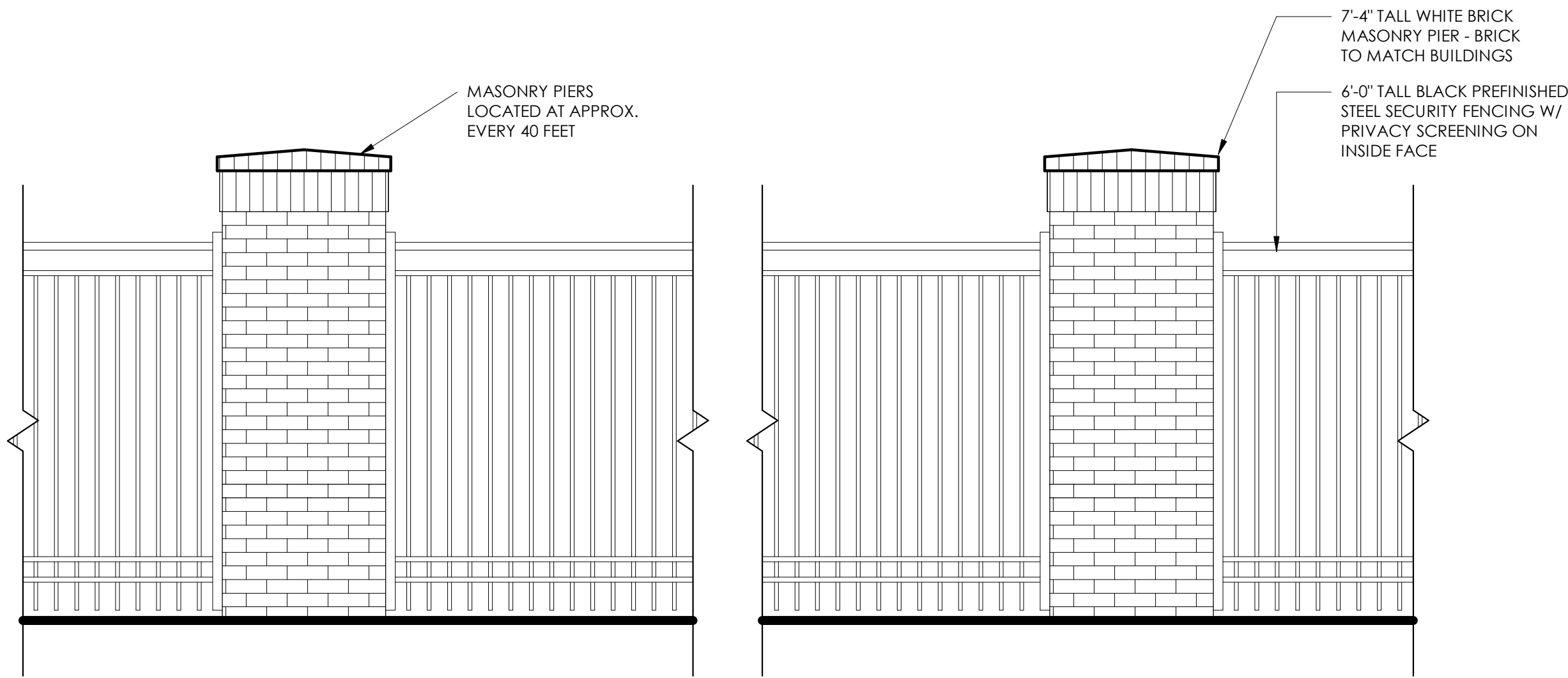
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ISSUED: 02/14/2025

REVISIONS:

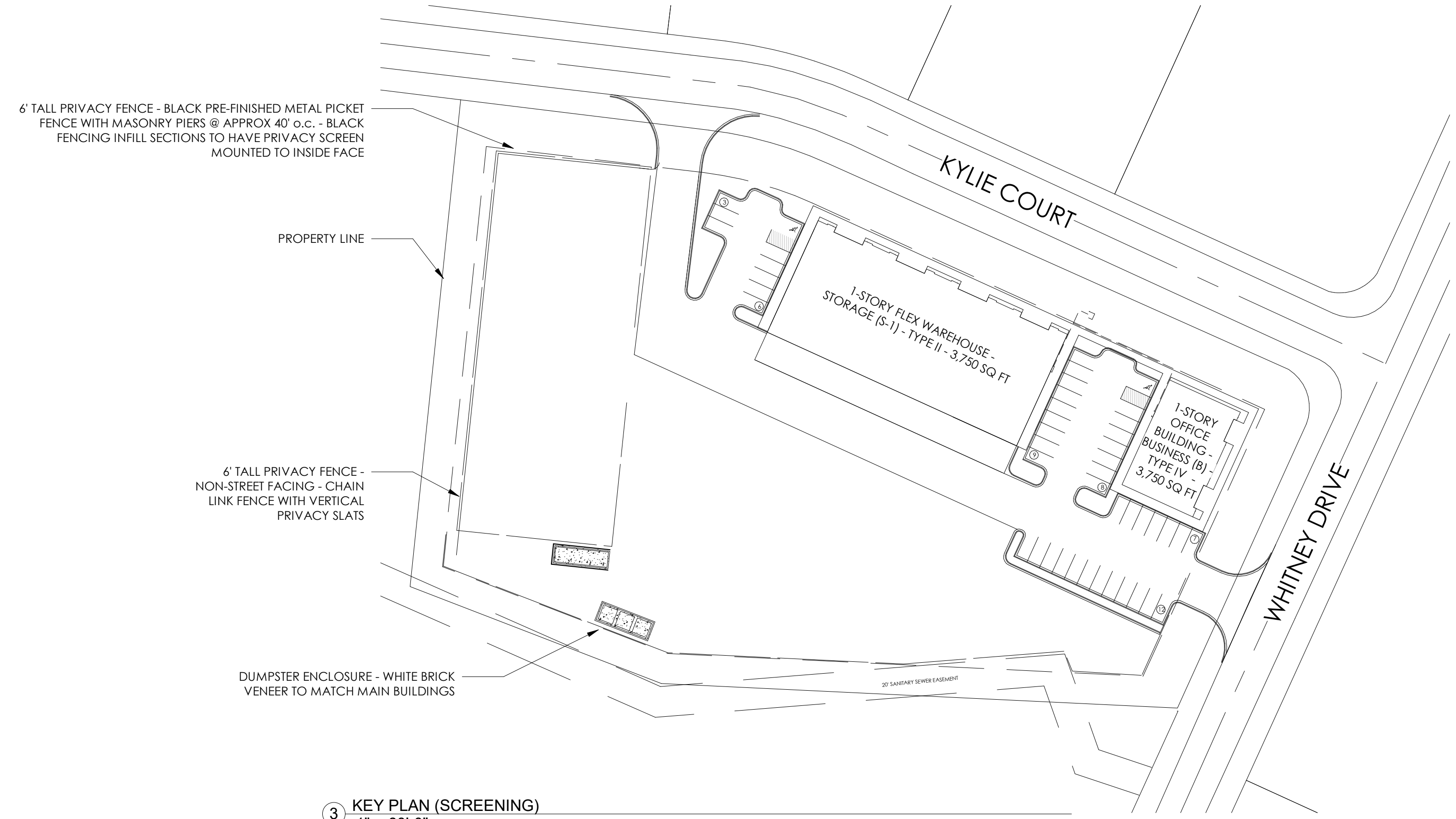
No.	Description	Date

**OFFICE BUILDING -
RENDERINGS**

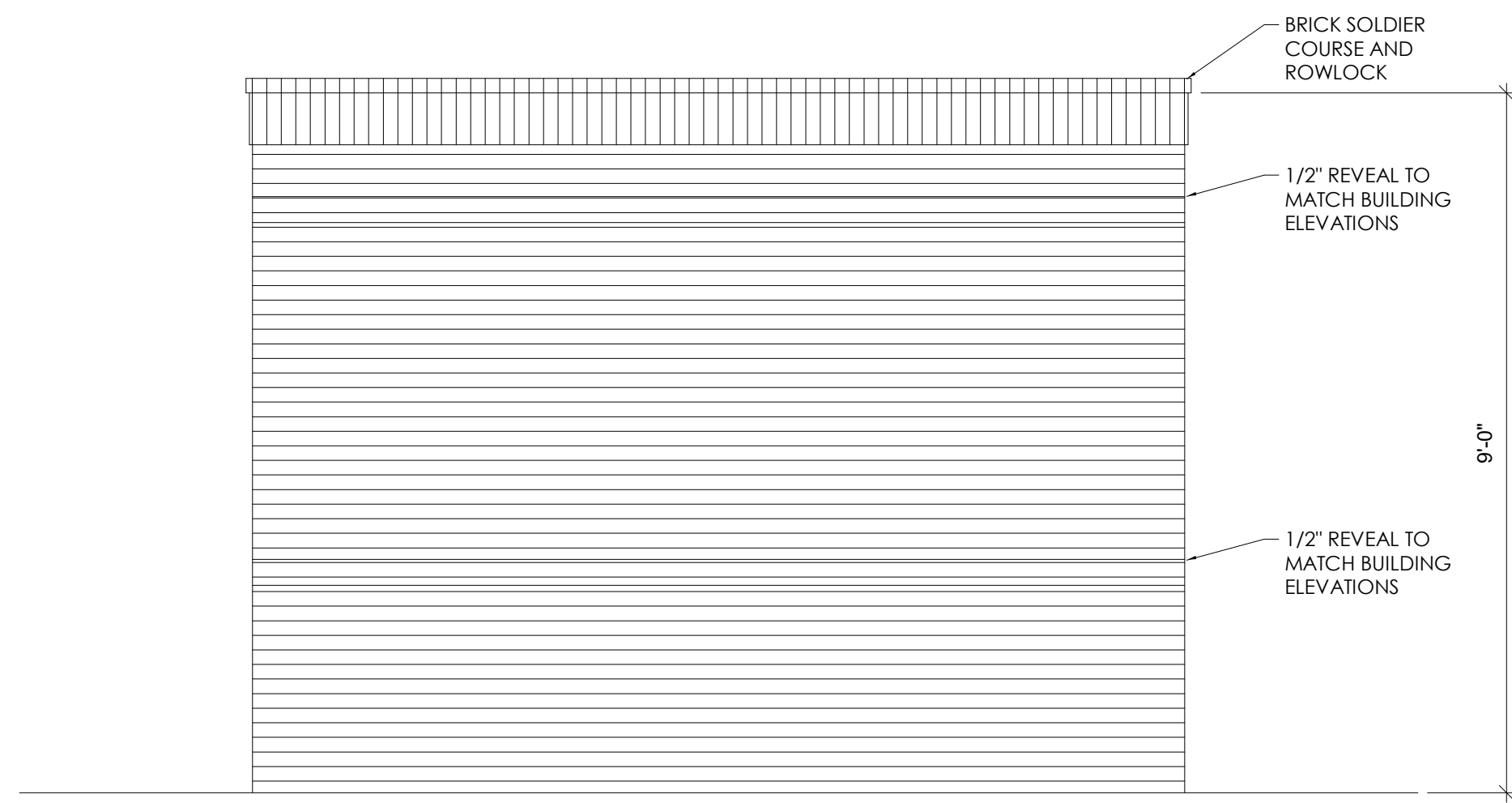
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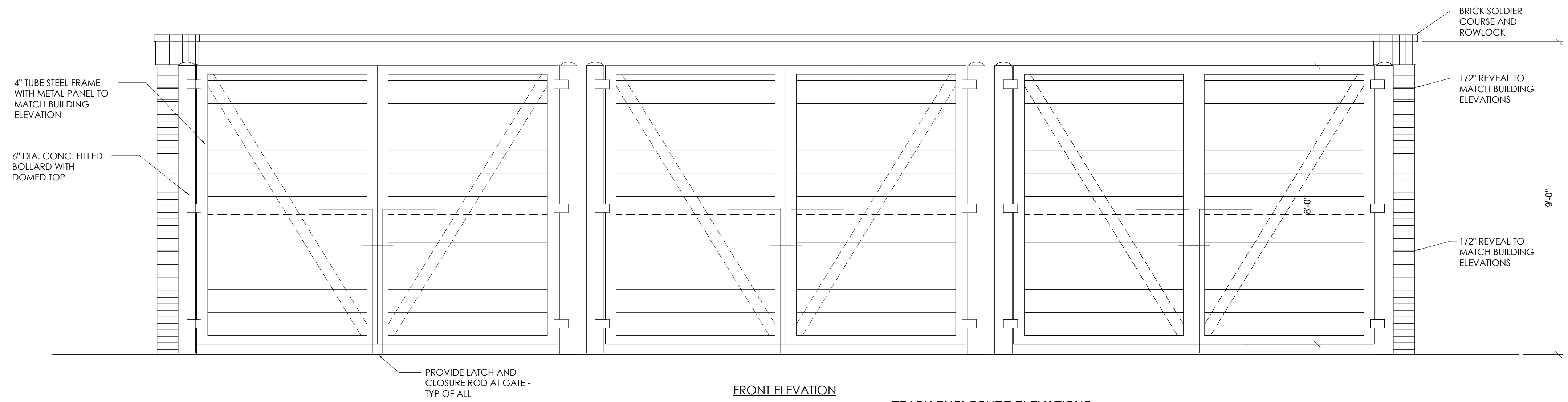
2 PRIVACY FENCING - TYPICAL STREET ELEVATION
1/2" = 1'-0"



3 KEY PLAN (SCREENING)
1" = 60'-0"

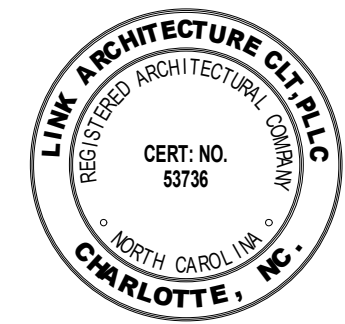


TYPICAL SIDE ELEVATION



FRONT ELEVATION

1 TRASH ENCLOSURE ELEVATIONS
1/2" = 1'-0"



**CALIBER CORNER @
MEADOW CREEK**

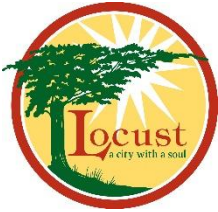
**SOUTHWEST CORNER OF
WHITNEY DRIVE & KYLIE COURT
LOCUST, NC 28097**

PROJECT NUMBER: 23-048
ISSUED: 02/14/2025

REVISIONS:

No.	Description	Date

**SCREENING
ELEVATIONS**



City of Locust

Post Office Box 190
Locust, North Carolina 28097-0190
(704) 888-5260

MEMORANDUM

Date: April 21, 2025
From: Cesar Correa, City Manager
To: Mayor & City Council
Subject: Zoning Amendment (Conditional) – Stanly County PIN#: 556504504683

BACKGROUND & PETITION INFORMATION

On January 6, 2025 the City of Locust received an application for a Conditional Zoning Amendment (Exhibit #1) for the property shown on the attached zoning map (Exhibit 2). The specifics of the rezoning application are as follows:

Applicant: Cook Out – Locust, Inc.

/Existing Zoning: Highway Commercial (HC)

Proposed Zoning: Highway Commercial – Conditional (HC-C)

Permitted Uses: All uses permitted in the Highway Commercial zoning district as shown in Article 2 Section 5: Use Table of the City of Locust Land Development Ordinance, would be permitted on the subject property. The proposed use of *Restaurants, Limited Service (delivery, carryout, drive-thru)* is a conditional use in the Highway Commercial District.

Parcel ID Numbers: Stanly County PIN#: 556504504683

Area in Acres: 1.14 acres

Site Description: This property is part of the Meadow Creek Business Park development. The site is surrounded by other parcels similar in size and use.

Adjacent Land Use: Commercial (Mavis Tire & Brake, Burger King, Walmart, McDonalds, Villages at Red Bridge) and Vacant.

Surrounding Zoning: The property is surrounded by Highway Commercial on all sides

Utility Service Provider: The property will be served by public water through Stanly County Utilities, and sewer provided by the City of Locust.

EXHIBITS

1. Application for Zoning Change

2. Zoning Map
3. Site Plan
4. Proposed Elevations

LAND USE PLAN ANALYSIS

The property lies within the area designated on the adopted 2014 Land Use Plan for commercial uses.

The property is currently zoned Highway Commercial. This amendment is reasonable because the property is adjacent to existing commercial uses, which are components of the overall Meadow Creek Business Park development. The amendment allows for the growth and expansion of the City's commercial tax base and sales taxes, thus providing opportunities for local jobs for the community.

FINDINGS AND CONCLUSIONS

The applicant submitted a Site Plan (Exhibit #3) and proposed elevations (Exhibit #4) for the overall development of the property that will be attached to the approval of the conditional rezoning should the City choose to support this request.

Staff has reviewed the Site Plan and finds that it meets the standards of the City of Locust Land Development Ordinance.

POLICY IMPLICATIONS

The City of Locust Land Development ordinance and the North Carolina General statutes require the Planning & Zoning Board to make a recommendation on the zoning amendment.

On March 27, 2025 the Locust Planning & Zoning Board reviewed the zoning amendment petition and voted to recommend **approval** of the proposed Highway Commercial – Conditional (HC-C) zoning designation.

Notice of the meeting and this agenda item have been publicized, letters have been mailed to all adjacent property owners within 500ft of the subject property, and a zoning hearing sign has been posted on the property.

The Council may vote to recommend approval, denial, or to modify the recommended classification in accordance with the adopted 2014 Land Use Plan.

SUGGESTED MOTION LANGUAGE

The following suggested motion language is provided as a guideline to assist the Council with references required for zoning amendments. The language may be altered as deemed appropriate by any member of the City Council in the making of a motion.

Suggested motion: “To approve the conditional rezoning request designating the subject property as Highway Commercial – Conditional (HC-C) with the associated site plan and proposed elevations, to be consistent with the 2014 Land Use Plan.



City of Locust
Post Office Box 190
Locust, North Carolina 28097-0190
(704) 888-5260

Application for Conditional Zoning Change

Date: January 6, 2025

Applicant Name: Cook Out-Locust, Inc.

Company Name (if applicable) _____

Address: 15 Laura Lane Thomasville, North Carolina ~~27630~~ 27360

Phone Number: 336-431-1094

Address of Property Change: 222 James Avenue

Present Zoning District: HC-CU

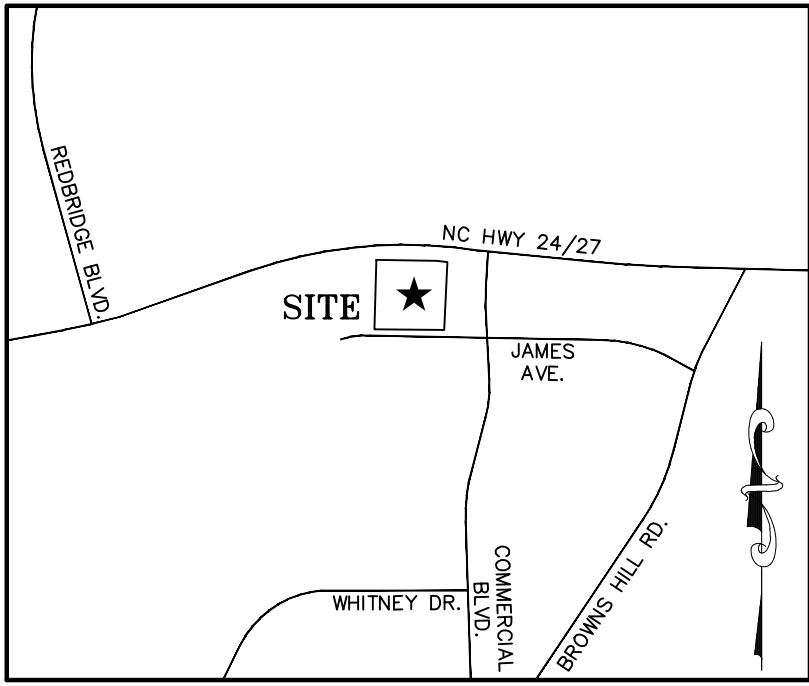
Requested Zoning District: HC-CU

Applicant Signature: 
Jeremy A. Reaves, President

The following information is required with the application:

- ✓(1) Map of the property to be rezoned, accurate description to show the following:
 - ✓a. All property lines with dimensions, north arrow.
 - ✓b. Names and addresses of adjoining landowners.
 - ✓c. Location of all existing structures, use of all land.
 - ✓d. Zoning classifications of all abutting zoning districts.
- ✓(2) Comprehensive site plan.
- ✓(3) Color renderings of the exterior.
- ✓(4) Comprehensive landscape plan
- ✓(5) All signage "monument and building"
- ✓(6) A fee of \$500 (non- refundable) must accompany this application.

COOK OUT
222 JAMES AVENUE LOCUST, NORTH CAROLINA



VICINITY MAP: NOT TO SCALE

ZONING CODE SUMMARY

PROJECT NAME: COOKOUT-LOCUST
PLANS PREPARED BY: THE ISAACS GROUP, P.C. PHONE #: 704-527-3440
ZONING: HC-CU JURISDICTION: CITY OF LOCUST
PARCEL ID: 556504504683
YARD REQUIREMENTS:
SETBACK (FRONT): 30
SIDE YARD (L): 20 FT. SIDE YARD (R): 20 FT.
REAR YARD: 20 FT.
LOT SIZE: 1.14 ACRES NUMBER OF UNITS/SUITES: 1
EXISTING USE: VACANT PROPOSED USE: FAST FOOD RESTAURANT
BUILDING HEIGHT: 26 FEET STORIES: 1
GROSS FLOOR AREA: 3,206 SQ. FEET
PARKING REQUIRED:
1 SPACE PER 500 S.F.=(3,206/1 SPACE/500 S.F.)=7 SPACES REQUIRED
REQUIRED: 7 PROVIDED: 20 HANDICAP: 1
BICYCLE PARKING:
REQUIRED TO PROVIDE A BIKE RACK

LANDSCAPE LEGEND

SYMBOL	SPECIES	QUANTITY
	WILLOW OAK MIN CALIPER: 2.0" MIN HEIGHT: 8.0'	12
	SUGAR MAPLE MIN CALIPER: 2.0" MIN HEIGHT: 8.0'	3
	EASTERN RED BUD MIN CALIPER: 2.0" MIN HEIGHT: 8.0'	8
	BURFORD HOLLY ILEX CORNUTA BURFORDI MIN HEIGHT: 2.0'; MIN WIDTH: 2.0' (MIN 5 GAL. AT PLANTING, 5' O.C.)	160

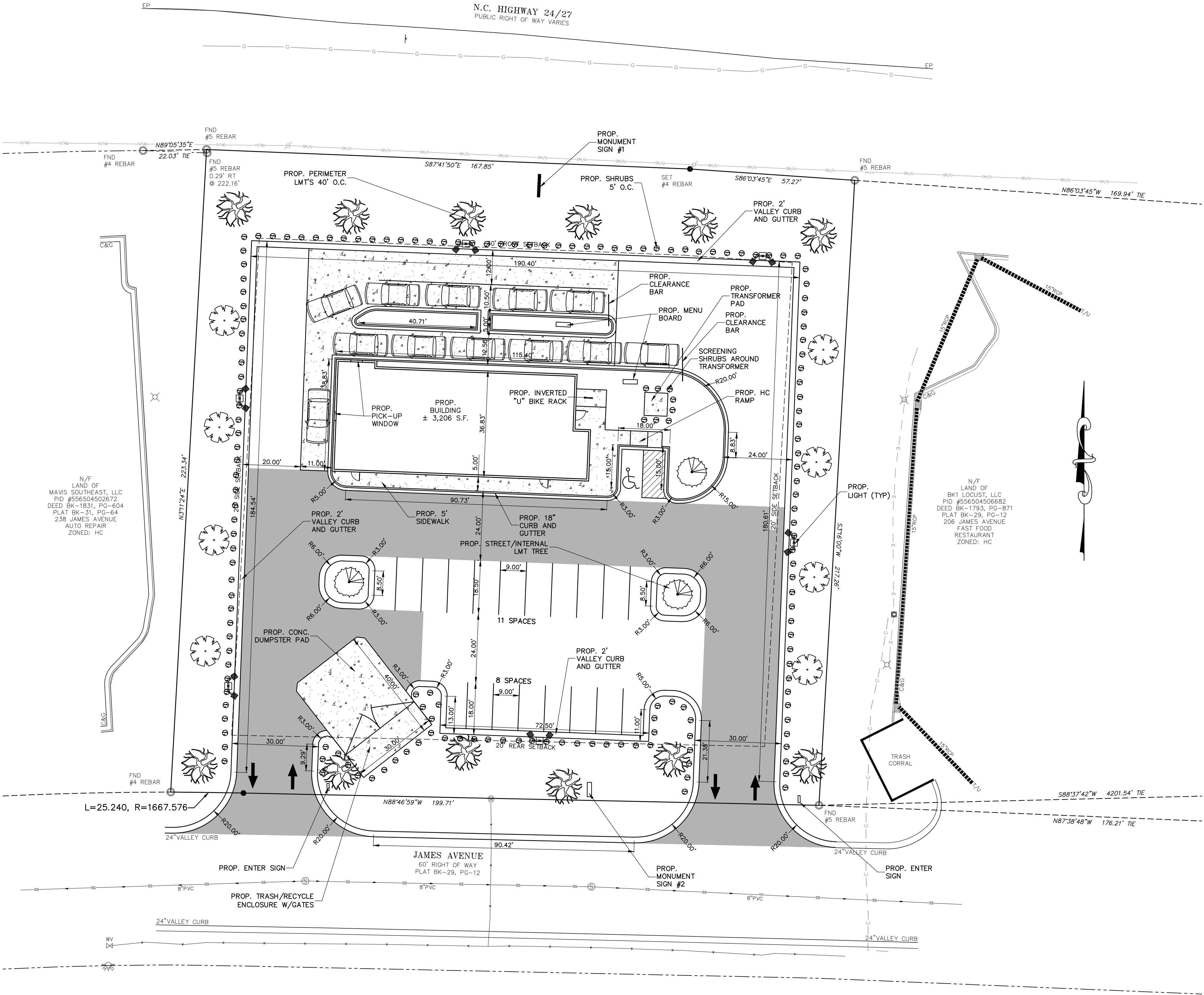
JAMES AVENUE:
225 L.F. OF ROAD FRONTAGE
225/40 = 6 TREES REQUIRED
6 LMT PROVIDED

N.C. HIGHWAY 27:
225 L.F. OF ROAD FRONTAGE
225/40 = 6 TREES REQUIRED
6 LMT PROVIDED

INTERIOR PLANTING REQUIREMENTS
SCREENING SHALL BE PROVIDED ALONG THE PARKING LOT THROUGH SHRUBS
LARGE MATURING TREES SHALL LINE THE PARKING LOT (MAX. 40' ON CENTER)
EACH SECTION OF PARKING SHALL BE ENCLOSED BY A LARGE MATURING TREE

GENERAL NOTES:

- THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY THE ISAACS GROUP. THE PHYSICAL AND TOPOGRAPHIC DATA PROVIDED IN THESE DRAWINGS HAS BEEN COMPILED BY THE ISAACS GROUP AND THE ENGINEER OF RECORD (ENGINEER) IN SUPPORT OF THIS PROJECT AND CANNOT BE RELIED UPON BY OTHERS. "THE ISAACS GROUP" AND "THE ENGINEER OF RECORD" SHALL DEFINE THE TERM OF "ENGINEER" USED IN THE SUBSEQUENT NOTES.
- THE EXISTING UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN AND THE UTILITIES SHOWN ON THIS PLAN MAY NOT BE IN THE EXACT LOCATIONS AS SHOWN. THE ISAACS GROUP, P.C. ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN OR ANY OMISSIONS IN SHOWING EXISTING UTILITIES THAT MAY BE WITHIN THE PROJECT AREA. THE CONTRACTOR IS 100% RESPONSIBLE FOR UTILIZING A PRIVATE LOCATOR AND APPROPRIATE UTILITY COMPANIES TO LOCATE THE SIZE, LOCATION, INVERTS, DEPTHS AND EXISTENCE OF ALL EXISTING UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, FIBER OPTIC, GAS, ETC.) TO HIS/HER SATISFACTION PRIOR TO COMMENCEMENT OF CONSTRUCTION AND EXCAVATION ACTIVITIES. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE AND BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY IN SERVICE WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER OR THE ISAACS GROUP, P.C. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY NOT IN SERVICE AND WHICH ARE TO BE REPLACED DURING THE COURSE OF CONSTRUCTION MAY BE REMOVED AND LEGALLY DISPOSED OF IF DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
- HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A. STANDARDS AT H/C PARKING SPACES SHOWN.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
- PROPOSED EXTERIOR ELEVATIONS ALONG BUILDING AND RETAINING WALLS ARE BASED UPON THE SITE GRADING AND DRAINAGE CONSTRAINTS IDENTIFIED BY THE ENGINEER. THE OWNER / DEVELOPER / PROJECT MANAGER IS RESPONSIBLE FOR ENSURING THE ARCHITECT AND STRUCTURAL ENGINEER ARE PROPERLY COORDINATING THE BUILDING EXTERIOR WALL AND RETAINING WALL ELEVATIONS BASED UPON THESE CIVIL DRAWINGS. ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THESE DRAWINGS AND DRAWINGS PREPARED BY OTHER DESIGN CONSULTANTS NOT SUBCONTRACTING DIRECTLY WITH THE ISAACS GROUP / ENGINEER SHOULD BE REPORTED IMMEDIATELY UPON DISCOVERY AS NEEDED TO RESOLVE.
- PROPOSED DUMPSTER ENCLOSURES SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY. ALL FINAL STRUCTURAL AND ARCHITECTURAL DETAILS AND SPECIFICATIONS FOR DUMPSTER ENCLOSURES SHALL BE PROVIDED BY OTHERS. THE OWNER / DEVELOPER / PROJECT MANAGER IS RESPONSIBLE FOR ENSURING THE FINAL DUMPSTER ENCLOSURE DETAILS FOR CONSTRUCTION ARE COORDINATED BETWEEN ALL DISCIPLINES. ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THESE DRAWINGS AND DRAWINGS PREPARED BY OTHER DESIGN CONSULTANTS NOT SUBCONTRACTING DIRECTLY WITH THE ISAACS GROUP / ENGINEER SHOULD BE REPORTED IMMEDIATELY UPON DISCOVERY AS NEEDED TO RESOLVE.
- PROPOSED LOCATIONS AND SIZES OF UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS ARE BASED UPON DESIGN CONSTRAINTS IDENTIFIED BY THE ENGINEER AND SHOULD BE VERIFIED BY THE CONTRACTOR TO ENSURE CONSISTENCY WITH THE MECHANICAL, ELECTRICAL, AND PLUMBING PLANS TO ENSURE PROPER COORDINATION AND PLAN CONSISTENCY. ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THESE DRAWINGS AND DRAWINGS PREPARED BY OTHER DESIGN CONSULTANTS NOT SUBCONTRACTING DIRECTLY WITH THE ISAACS GROUP / ENGINEER SHOULD BE REPORTED IMMEDIATELY UPON DISCOVERY AS NEEDED TO RESOLVE.

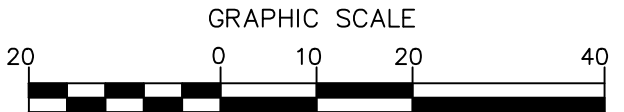


FLOOD CERTIFICATION:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 371055-6500-L, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 16, 2018 AND IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



THE EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD NOT BE RELIED UPON AS THE EXACT LOCATION OR A COMPLETE INVENTORY WHEN PERFORMING SITE EXCAVATION PRIOR TO COMMENCEMENT OF ANY EXCAVATION CONTACT 811 OR A PRIVATE UTILITY LOCATOR AS NEEDED TO VERIFY THE LOCATIONS AND EXISTENCE OF EXISTING UTILITIES.



NO.	BY	DATE	REVISION

CONTACT INFORMATION:

ENGINEER: THE ISAACS GROUP, P.C.
8720 RED OAK BLVD., SUITE 420
CHARLOTTE, NC 28217
PH: 704-227-9406
FAX: 704-527-8335
POC: BRIAN UPTON, P.E.
EMAIL: BUPTON@ISAACSGRP.COM

OWNER/DEVELOPER: COOKOUT CORPORATE INC
15 LAURA LANE
THOMASVILLE, NC 27360
PH: 336-431-1094
POC: JEREMY REAVES
EMAIL: jreaves@cookout.com

CONTRACTOR: TO BE DETERMINED

PRELIMINARY
FOR REVIEW PURPOSES ONLY

Project: COOK OUT
LOCUST, NORTH CAROLINA

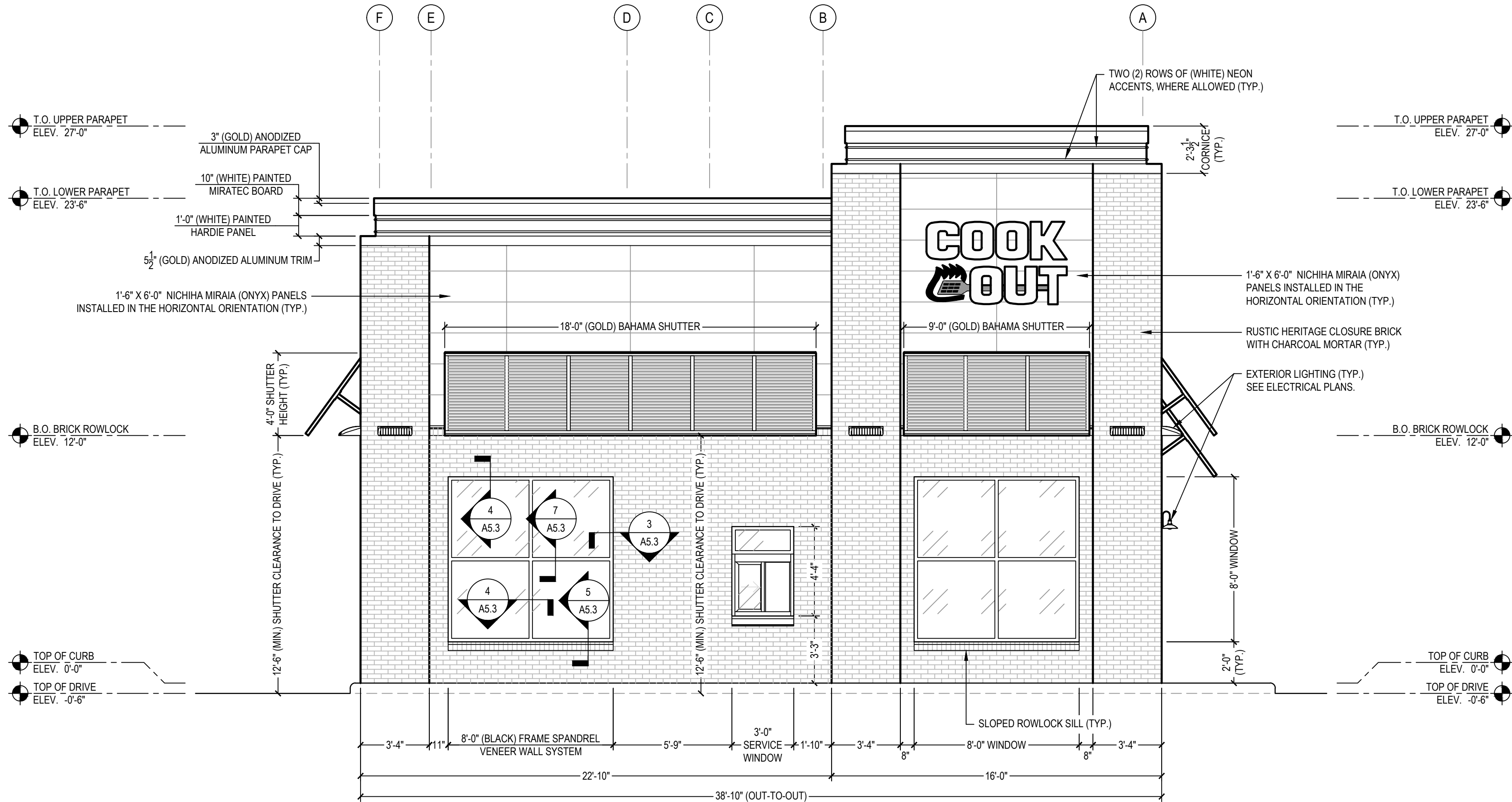
Title: CONDITIONAL ZONING

File #23001-FR000 Date: 2/14/25 Project Egr: FBL

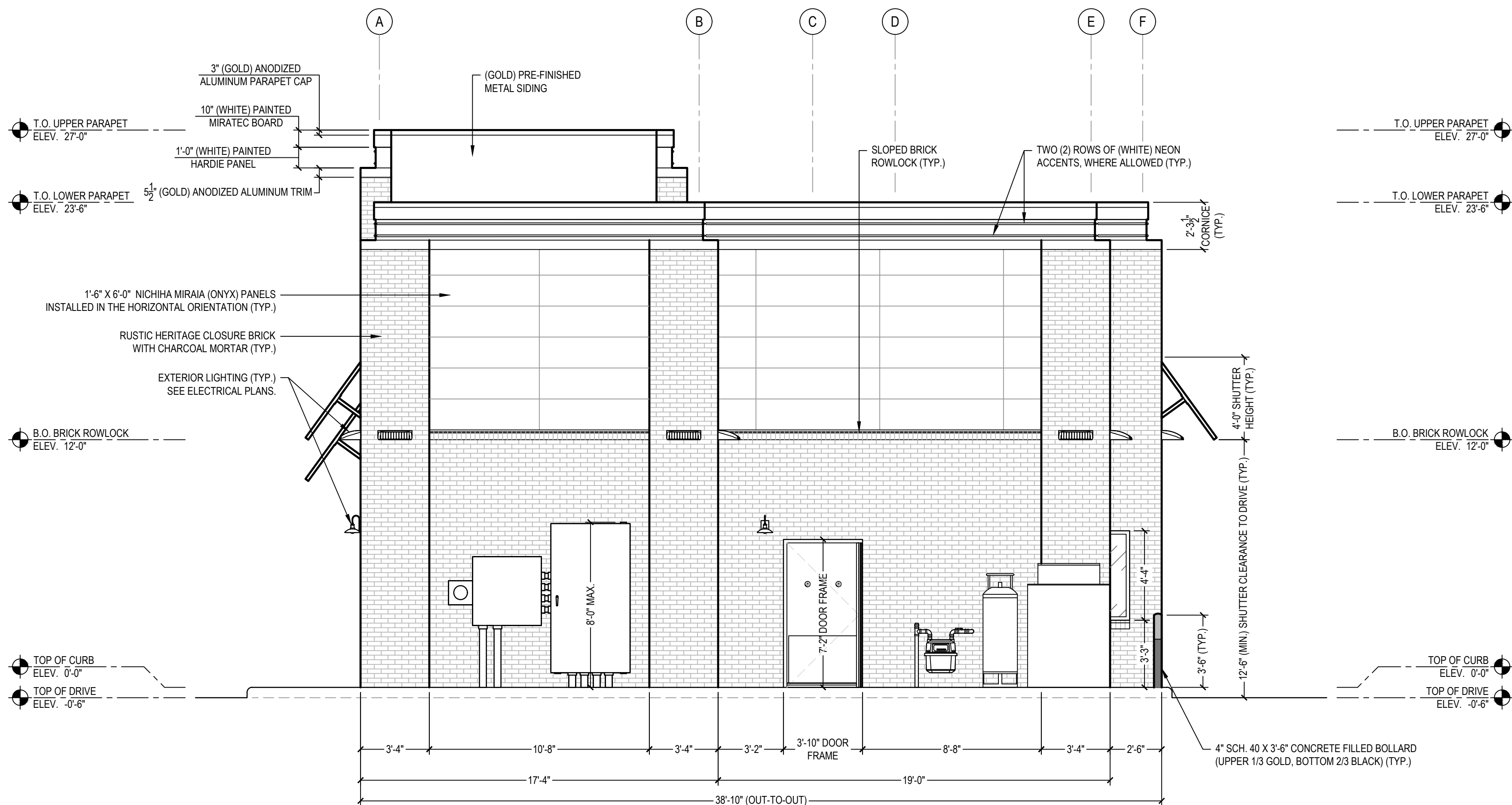
Design By: FBL
Drawn By: FBL
Scale: 1"=20'

8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8335

CZ1.0



1 FRONT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 REAR EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

PRELIMINARY FOR REVIEW ONLY

1 INCH

EXTERIOR FINISH DESIGNATIONS

BRICK VENEER SPECIFICATION:

MANUFACTURER: STATESVILLE BRICK CO.
BRICK SERIES: RUSTIC HERITAGE CLOSURE BRICK
MORTAR COLOR: AUTHENTIC TUMBLED SERIES CHARCOAL (TYPE S)

NICHIHA ARCHITECTURAL WALL PANEL SPECIFICATION:

PANEL SERIES: MIRAI
FINISH / COLOR: HIGH-GLOSS / ONYX
PANEL ORIENTATION: HORIZONTAL
MATERIAL TYPE: FIBER CEMENT

PAINT COLOR DESIGNATIONS

PLAN COLOR: BLACK
MANUFACTURER: SHERWIN-WILLIAMS
PRODUCT NUMBER: SW 6990
PRODUCT NAME: CAVIAR
PAINT FINISH: FLAT

PLAN COLOR: WHITE
MANUFACTURER: SHERWIN-WILLIAMS
PRODUCT NUMBER: SW 7070
PRODUCT NAME: SITE WHITE
PAINT FINISH: FLAT

PLAN COLOR: GOLD
MANUFACTURER: OWNER TO SPECIFY
PRODUCT NUMBER: OWNER TO SPECIFY
PRODUCT NAME: OWNER TO SPECIFY
PAINT FINISH: FLAT

PRODUCT CONTACT INFORMATION

NICHIHA ARCHITECTURAL WALL PANELS:

CONTACT NAME: BEN DALZIEL
EMAIL ADDRESS: BDALZIEL@NICHIHA.COM
PHONE NUMBER: 404.432.5866
WEBSITE: WWW.NICHIHA.COM

SCOTT STONE, INC.:

CONTACT NAME: RANDY CLAYTON
EMAIL ADDRESS: RANDY.CLAYTON@SCOTTSTONE.COM
PHONE NUMBER: 919.563.3469
WEBSITE: WWW.SCOTTSTONE.COM

STATESVILLE BRICK CO.:

CONTACT NAME: SCOTT RANKIN
EMAIL ADDRESS: BRICKSALES@STATESVILLEBRICK.COM
PHONE NUMBER: 704.872.4123
WEBSITE: WWW.STATESVILLEBRICK.COM

QUIKSERV SERVICE WINDOWS:

CONTACT NAME: BRIAN MCCLOSKEY
EMAIL ADDRESS: 832.792.2646
PHONE NUMBER: 832.792.2646
WEBSITE: WWW.QUIKSERV.COM

WINDOWS AND GLASS:

COMPANY NAME: ABSOLUTE GLASS, INC.
CONTACT NAME: ANTHONY REVIS
EMAIL ADDRESS:
PHONE NUMBER: 336.516.3521
WEBSITE: ABSOLUTEGLASSNC.COM

GENERAL NOTES

1. ALL WORK SHALL BE INSTALLED TO MEET CURRENT STATE AND LOCAL BUILDING CODE REQUIREMENTS, LATEST REVISION.

2. GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS AND EQUIPMENT DURING PROJECT DURATION.

3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION.

4. CONTRACTOR SHALL COORDINATE WITH PLUMBING, MECHANICAL, ELECTRICAL, STRUCTURAL, AND CIVIL PLANS FOR ADDITIONAL WORK THAT MAY OR MAY NOT BE SHOWN ON THIS DRAWING.

5. VERIFY ALL FINISHES, PAINT COLORS, ETC. WITH OWNER PRIOR TO INSTALLATION OR APPLICATION.

6. CONTRACTOR SHALL BE RESPONSIBLE TO INFORM OWNER OF ALL SPECIFIC MATERIALS THAT ARE UNAVAILABLE DUE TO SHORTAGES OR OTHER LACK OF MATERIAL ACCESSIBILITY.

7. ALL WINDOW AND STOREFRONT FRAMES SHALL BE BLACK ANODIZED ALUMINUM.

8. AWNINGS SHALL BE POWDER COATED.

9. SIGNAGE SUBJECT TO CHANGE BASED ON SIGN MANUFACTURER SUBMITTED DOCUMENTS TO MUNICIPALITY.

10. ADDRESS NUMBERS ON THE EXTERIOR OF THE BUILDING SHALL BE VIEWED FROM THE ROAD AND BE AT LEAST 6-INCH TALL WITH A 3/4-INCH BRUSHSTROKE WIDTH OF A CONTRASTING COLOR. VERIFY REQUIREMENTS WITH LOCAL FIRE MARSHALL.

11. VERIFY ALL EXTERIOR LIGHTING WITH ELECTRICAL PLANS.

BUILDING PLANS FOR

KEY PLAN

JOB NO. E-7844
DRAWN SEA
CHECKED SEA
DATE 01.30.2025
TITLE EXTERIOR ELEVATIONS
SHEET NO.

BRIAN LATHROP, ARCHITECT

Healthcare Architecture Planning Project Analysis Interiors

2 Flower Hill Ln Palm Coast, FL 32137 (770) 993-7300

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REV. DATE DESCRIPTION
NO 0 10-28-24 PERMIT SET

STAMP

CIVIL ENGINEERING
SUMMEY ENGINEERING ASSOCIATES PLLC
2000 W. 10TH STREET
ASHEBORO, NC 27204 (336) 328-0902

STRUCTURAL ENGINEERING
SUMMEY ENGINEERING ASSOCIATES PLLC
P.O. BOX 988
ASHEBORO, NC 27204 (336) 328-0902

MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING
SUMMEY ENGINEERING ASSOCIATES PLLC
P.O. BOX 988
ASHEBORO, NC 27204 (336) 328-0902

COOK OUT RESTAURANTS

222 JAMES AVENUE
STANLY COUNTY - LOCUST TOWNSHIP - NORTH CAROLINA

Page 50 of 54



1. ALL WORK SHALL BE INSTALLED TO MEET CURRENT STATE AND LOCAL BUILDING CODE REQUIREMENTS, LATEST REVISION.
2. GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS AND EQUIPMENT DURING PROJECT DURATION.
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4. CONTRACTOR SHALL COORDINATE WITH PLUMBING, MECHANICAL, ELECTRICAL, STRUCTURAL, AND CIVIL PLANS FOR ADDITIONAL WORK THAT MAY OR MAY NOT BE SHOWN ON THIS DRAWING.
5. VERIFY ALL FINISHES, PAINT COLORS, ETC. WITH OWNER PRIOR TO INSTALLATION OR APPLICATION.
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8. AWINGS SHALL BE POWDER COATED.
9. SIGNAGE SUBJECT TO CHANGE BASED ON SIGN MANUFACTURER SUBMITTALS AND LOCAL MUNICIPALITY.
10. ADDRESS NUMBERS ON THE EXTERIOR OF THE BUILDING SHALL BE VISIBLE FROM THE ROAD AND BE AT LEAST 6-INCH TALL WITH A 3/8" BRUSHSTROKE WIDTH OF A CONTRASTING COLOR. VERIFY REQUIREMENTS WITH LOCAL FIRE MARSHAL.
11. VERIFY ALL EXTERIOR LIGHTING WITH ELECTRICAL PLANS.

SHEET NO. _____

Page 51 of 54

Locust NC Cook Out building wall signs drawing
Address: 222 James Ave. Locust NC 28097



SCALE: 1/4" = 1'-0"

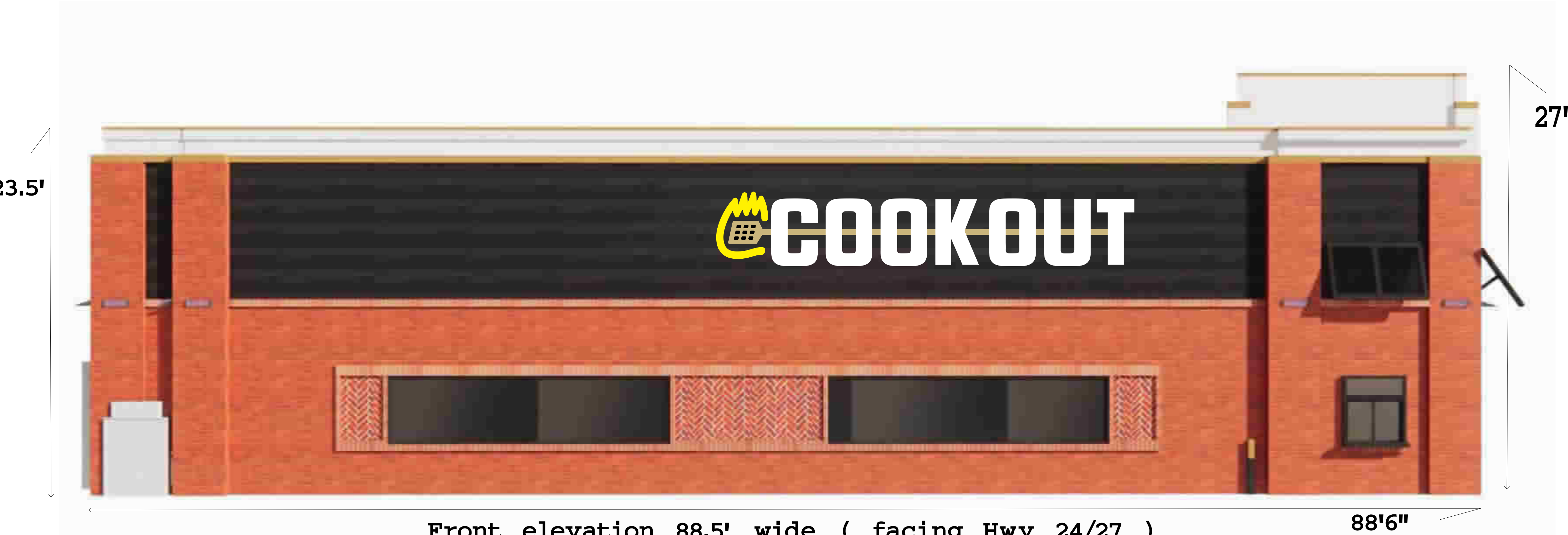
Front elevation 88.5' wide (facing James Ave)

Front wall signs: - 126.25 sq ft

Cook out logo
individually mounted LED
(white GE) lighted channel
letters / logo - white
plastic w white trim and
returns, Flame - yellow
plastic w yellow trim and
returns / UL listed



Front wall logo 4' x 22'6" (90 sq ft)



Front elevation 88.5' wide (facing Hwy 24/27)

88'6"

Back wall signs: - 126.6 sq ft TOTAL

Cook out logos
individually mounted LED
(white GE) lighted channel
letters / logo - white
plastic w white trim and
returns, Flame - yellow
plastic w yellow trim and
returns / UL listed



Back wall logo 4'9" x 26'7" (126.25 sq ft)



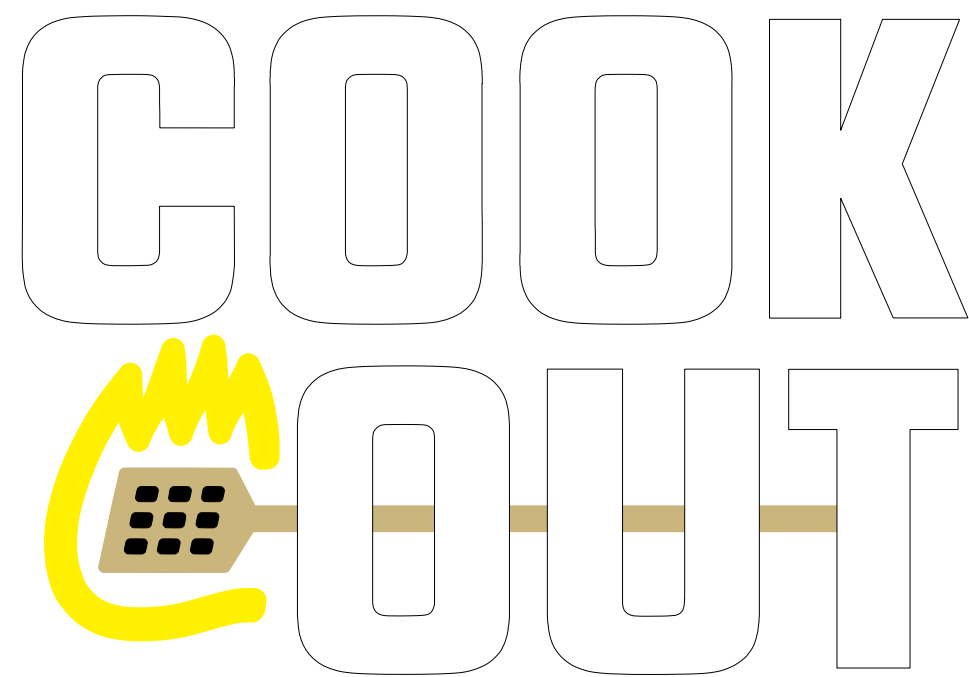
SCALE: 1/4" = 1'-0"

38'10"

Left elevation - 36.6 sq. ft.
(slanted view of Hwy 24/27)



Right elevation - 36.6 sq.ft.
(view of Commercial Blvd)



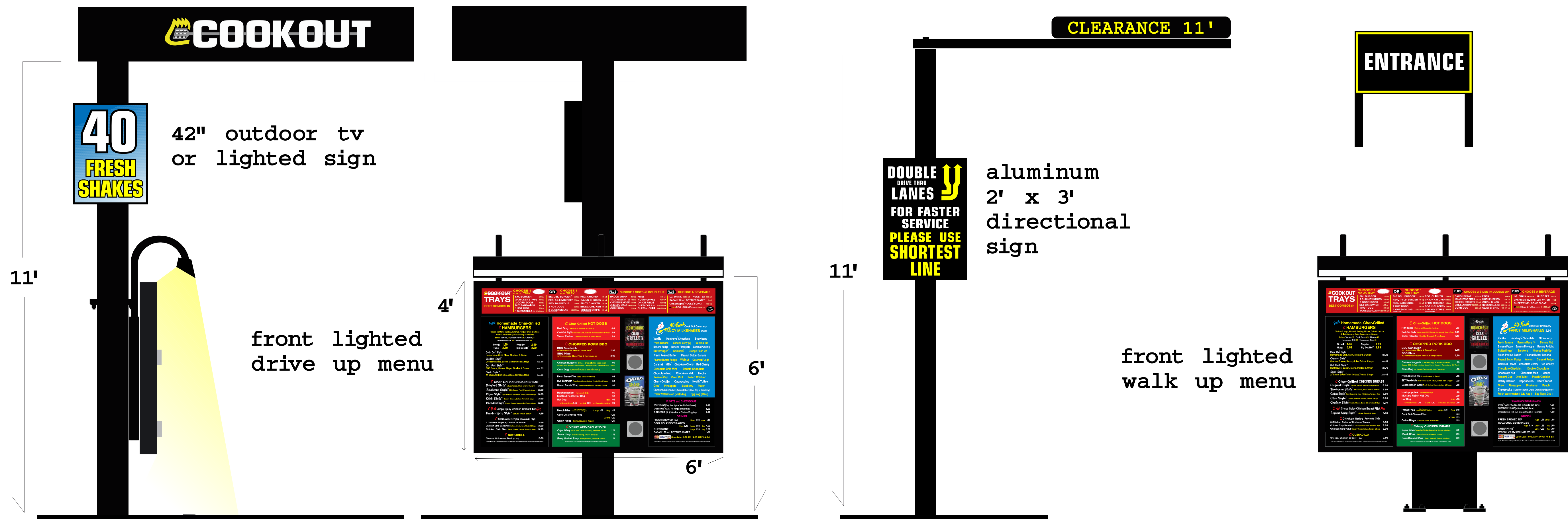
Front tower wall logo
62" x 85" (36.6 sq ft)

Right & Left wall signs:
Cook out logo
individually mounted LED
(white GE) lighted channel
letters / logo - white
plastic w white trim and
returns, Flame - yellow
plastic w yellow trim and
returns / UL listed



803-533-7446
313 John C Calhoun Drive
Orangeburg SC 29115
Linford Oberholtzer
lin@brandritesign.com
Mobile 803-707-4512

Locust NC Cook Out building wall signs drawing
Address: 222 James Ave. Locust NC 28097



(2) roadside monument style roadside signs - 50 sf each
14'3" over all width



LED lighted channel letter style logos (UL listed)
on a powder coated aluminum cabinet w decorative top
cap and lower trim
- base: brick to match the building



803-533-7446
313 John C Calhoun Drive
Orangeburg SC 29115
Linford Oberholtzer
lin@brandritesign.com
Mobile 803-707-4512

